

e. Driveway Setbacks and Design Requirements: (cont'd)

On 50% of all lots, garage doors that are visible as part of front building elevations shall be recessed behind either the front facade of the living portion of the dwelling or a covered porch by at least four (4) feet. Covered porches referred to in this condition shall measure at least eight (8) feet across the front of the building, by six (6) feet deep. This requirement shall not apply to side loaded garages. The maximum protrusion for a garage from the front living portion of the house will be 10'. All single family dwelling units on lots that are less than 65 feet in lot width shall comply with the recessed garage design criteria.

The matrix devised at the PDP phase to track/ achieve this 50% mark, is located on Sheet 4 of 18.

Garage doors visible as part of front building elevations shall not comprise more than fifty (50) percent of the ground floor street-facing linear building frontage. This requirement shall not apply to side loaded garages.

3. Height

"Building Height" as defined by the City of Loveland per the Municipal Code.

Residential building heights will be limited to 35' measured as defined by the City of Loveland Municipal Code. Buildings are limited to 3 stories.

4. Parking

Parking for residential units will occur on each lot, or on-street as allowed by City code.

5. Development Setbacks from Loudon Ditch and Dry Creek

To protect and enhance the existing wildlife corridor along the Loudon Ditch, a 30' min. open space corridor has been provided between the ditch R-0-W and the proposed lot lines and internal street R-0-W's.

6. Procedures

All proposed development of any type within the Planned Unit Development will be processed in accordance with the procedures contained in Chapter 18.41 of the Loveland Municipal Code, Section 18.41.40, Procedures for Approval of a Planned Unit Development, and shall require approval of Preliminary and Site Development Plans in accordance with the requirements thereof.

7. Subdivision Procedures

All development within this PUD will comply with the City Codes and processes.

8. Drainage Statement

On-site grading and drainage patterns were designed to convey runoff to the southern and eastern edges of the site into 5 detention ponds. A southern detention pond will detain the southern branch sub-basin and will consist of an on-line detention pond along the alignment of Dry Creek. Four detention ponds along the eastern edge of the property will detain the northern branch sub-basin and convey drainage to discharge points into the Loudon Ditch. Any improvements or disturbance to Dry Creek or the Loudon Ditch will comply with all local, state and federal requirements. Documentation stating compliance will be submitted with each SDP application, prior to any grading or improvements that would affect Dry Creek or the Loudon Ditch.

9. Wind Erosion Control

Fugitive dust and wind erosion shall be minimized through the following means and methods: Pre-disturbance vegetation shall be protected and retained whenever possible. Removal or disturbance of existing vegetation shall be limited to the areas required for immediate construction operations, and for the shortest practical period of time. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or discing along land contours until mulch, vegetation or other permanent erosion control is installed. No soils in areas outside of project street rights of way shall remain exposed by land disturbing activities for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Director of Current Planning.

10. Access/ Circulation

The street system proposed meets the operational criteria of the City of Loveland.

IV. SUPPLEMENTARY REGULATIONS

A. Signs

1. Purpose

The purpose of these supplementary regulations is to encourage the effective use of signs in the development; to improve pedestrian and traffic safety; to minimize the potential for adverse impacts of signs on public and private property; and to encourage the creative use of signing and environmental graphics as a part of the overall development image.

2. Material

Sign materials may include, but are not limited to, brick, stone, architectural block, concrete stucco or synthetic stucco, brass, or painted metals. Signs may be lighted per the sign code.

3. Application

Signs shall require a separate sign permit and shall be installed in accordance with the Loveland Municipal Code with regard to size, location, and height, and other applicable standards. In addition, all signs shall comply with the design guidelines set forth in Section 6.2 of the Loveland Comprehensive Master Plan, which is The U.S. 34 Corridor Plan.

B. Outdoor Storage of Recreation Vehicles

No boat, camper, trailer, motor home, bus, machine or inoperative vehicle may be stored on the property, unless enclosed entirely in a garage; provided that the same may be temporarily parked upon the driveway or street for a period of time not to exceed 48 hours and subject to the City of Loveland Municipal Code.

C. Conditions, Covenants, and Restrictions (CC&R's)

In order to assist the City in its review of any proposed structure, or any proposed alteration of a structure, for compliance of the design of said structures with the architectural standards set forth in the PUD, all applicants are encouraged to submit to the City a copy of any formal action taken by the active Architectural Review Committee in its private review of the proposed construction or alteration of the structure. Approval, conditional approval, or denial of a proposed design by the ARC will not be used as the final basis of the City in its action on any building permit application for construction or alteration of structures.

Front Setback Matrix

The following is a matrix detailing the staggered front yard setback requirement per section III.A.2.a.i.

SETBACK MATRIX FOR PARCEL 'A'

15' Front Minimum Setback  
 Block:1 Lots: 3, 5, 7, 9, 11, 14, 16  
 Block:2 Lots: 2, 4, 9, 11  
 Block:3 Lots: 2, 4, 9, 11  
 Block:5 Lots: 3, 8, 12  
 Block:6 Lots: 5, 11  
 Block:7 Lots: 5, 15

16' Front Minimum Setback

Block:5 Lots: 14, 16  
 Block:6 Lots: 3, 13  
 Block:7 Lots: 3, 17

18' Front Minimum Setback

Block:1 Lots: 2, 4, 6, 8, 10, 12, 13, 15  
 Block:2 Lots: 3, 5, 8, 10  
 Block:3 Lots: 1, 3, 5, 8, 10, 12  
 Block:5 Lots: 2, 4, 7, 9, 11, 13, 15, 17  
 Block:6 Lots: 2, 4, 6, 10, 12, 14  
 Block:7 Lots: 2, 4, 16, 18

20' Front Minimum Setback

Block:1 Lots: 1  
 Block:2 Lots: 1, 6, 7, 12  
 Block:3 Lots: 6, 7  
 Block:5 Lots: 1, 5, 6, 10, 18  
 Block:6 Lots: 1, 15  
 Block:7 Lots: 1, 19

SETBACK MATRIX FOR PARCEL 'B'

15' Front Minimum Setback  
 Block:1 Lots: 18, 20, 22, 24, 28, 30  
 Block:4 Lots: 3, 5, 7, 9, 12, 14, 16, 18, 20  
 Block:7 Lots: 7, 12, 14  
 Block:8 Lots: 5, 7, 11, 13, 15, 17  
 Block:16 Lots: 2

16' Front Minimum Setback

Block:6 Lots: 9  
 Block:8 Lots: 3  
 Block:16 Lots: 13

18' Front Minimum Setback

Block:1 Lots: 17, 19, 21, 23, 25, 29, 31  
 Block:4 Lots: 2, 4, 6, 8, 13, 15, 17, 19, 21  
 Block:7 Lots: 6, 8, 11, 13  
 Block:8 Lots: 2, 4, 6, 8, 12, 14, 16, 18  
 Block:9 Lots: 7  
 Block:16 Lots: 3

20' Front Minimum Setback

Block:1 Lots: 26, 27, 32  
 Block:4 Lots: 1, 10, 11, 22  
 Block:6 Lots: 7, 8  
 Block:7 Lots: 9, 10  
 Block:8 Lots: 1, 9, 10, 19  
 Block:9 Lots: 8, 9  
 Block:16 Lots: 1, 14

SETBACK MATRIX FOR PARCEL 'C'

15' Front Minimum Setback  
 Block:13 Lots: 5, 10  
 Block:14 Lots: 3, 10  
 Block:15 Lots: 1, 10  
 Block:16 Lots: 11

16' Front Minimum Setback

Block:13 Lots: 3, 8, 12  
 Block:14 Lots: 5, 8  
 Block:15 Lots: 3, 8  
 Block:16 Lots: 4, 9  
 Block:17 Lots: 3, 5, 9

18' Front Minimum Setback

Block:13 Lots: 2, 4, 6, 9, 11  
 Block:14 Lots: 2, 4, 9, 11  
 Block:15 Lots: 2, 4, 7, 9  
 Block:16 Lots: 5, 8, 10, 12  
 Block:17 Lots: 2, 4, 6, 8

20' Front Minimum Setback

Block:13 Lots: 1, 7  
 Block:14 Lots: 1, 6, 7, 12  
 Block:15 Lots: 5, 6  
 Block:16 Lots: 6, 7  
 Block:17 Lots: 1, 7

Recessed Garages

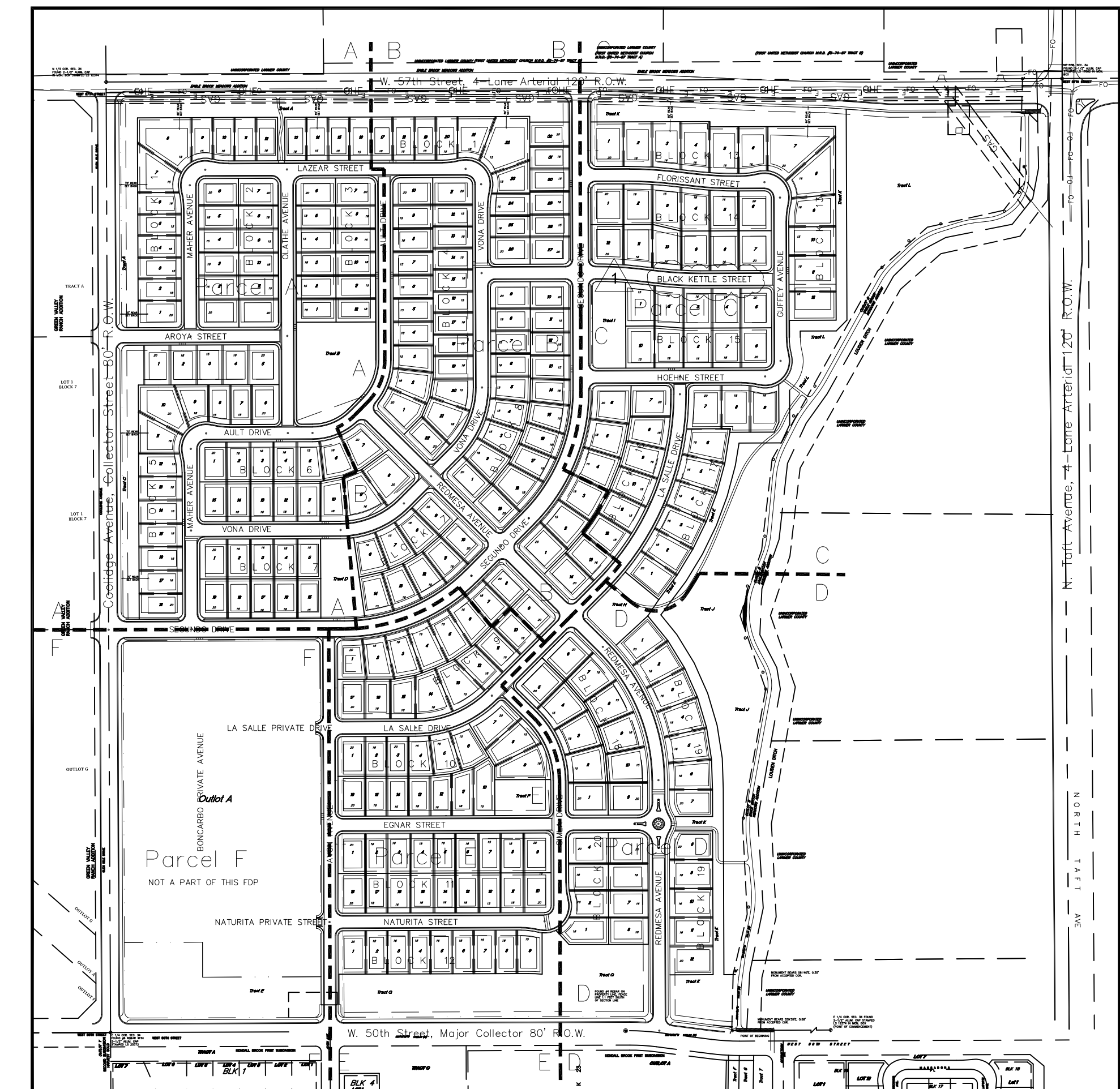
The following is a matrix detailing which lots will be required to have a recessed garage per section III.2.E. There are a total of 172 lots in compliance.

Block	Lots	Block	Lots
1	1,2,3,4,5,6,9,10,11,12 13,14,15,16,17,18,19 20,21,23,24,25,26,28 29,30,31,32	10	1,2,3,4,5,6,7,8,9 10,11,12,13,14,15
2	2,3,4,5,8,9,10,11	11	1,2,3,4,5,6,7,8,12 13,14,15,16,17,18 19
3	1,2,3,4,5,6,7,8,9,10 11,12	12	1,2,3,4,5,6,7,8
4	1,2,3,4,5,6,7,8,9,11,12 13,14,15,16,17,18,19 20,22	13	none
5	6,7,8,9,10,11,12,13,14 15,16,17,18	14	none
6	2,3,4,5,6,7,10,11,12,13 14	15	none
7	2,3,4,5,6,7,8,9,10,11 12,13,14,15,16,17,18	16	none
8	1,3,4,5,6,7,8,9,11,12,13 14,15,16,17,19	17	none
9	1,2,3,4,5,6,7,8	18	none
		19	none
		20	none

Shared Drives

All residential driveways shall be setback a minimum of 80 feet from any intersection measured center to center unless otherwise approved through a variance by the City

DEVELOPMENT AREA MAP



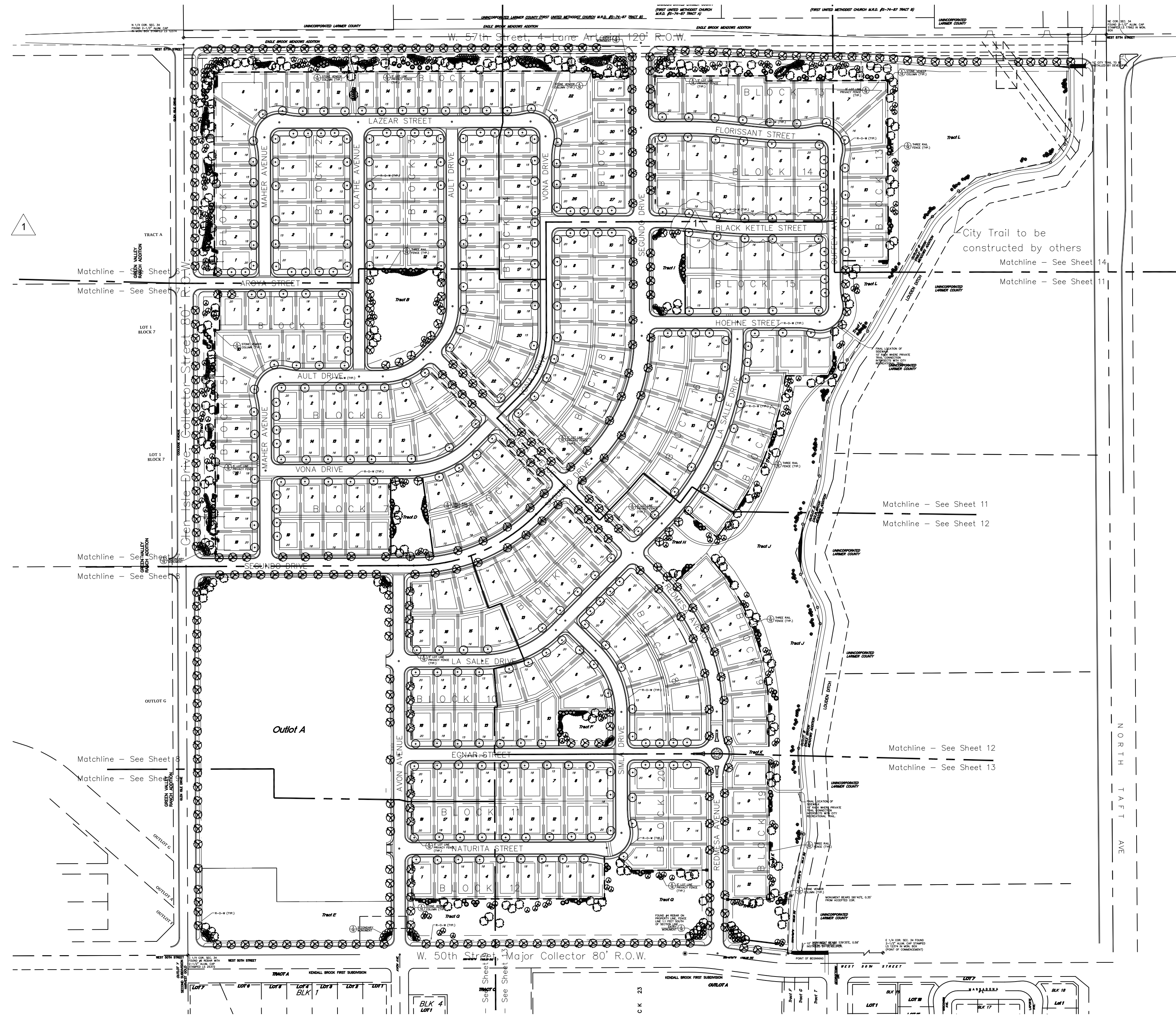
Owner:  
 Front Range Investment Holdings, LLC  
 2365 Carillon Point  
 Kirkland, WA 98121  
 425.893.7882

Eagle Brook Meadows  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

PROJECT:	28605
DRAWN BY:	TM/RBS
CHECK BY:	RD
ISSUE DATE:	04.02.04
REVISIONS:	08.10.04 04.1.05 05.16.05 06.6.05 09.19.05 10.13.06 08.23.19

Recording  
 SHEET TITLE  
 SDP  
 NARRATIVE

SHEET NUMBER



# OVERALL – SITE DEVELOPMENT PLAN



SCALE: 1" = 200'

### LAND USE TABLE

PARCEL PER GDP / PDP	LANDUSE	LOT TYPES	TOTAL NO. UNITS	APPROX. ACRES	DENSITY	OPEN SPACE PERCENT OF PARCEL	PERCENT OF ALL UNITS	PERCENT OF SINGLE FAMILY
A Block 1 (lots 1-16) Blocks 2,3,5 Block 6 (lots 1-6; 10-16) Block 7 (lots 1-5; 15-19)	SINGLE FAMILY	19 – 60' Wide Lots 42 – 65' Wide Lots 6 – 70' Wide Lots 12 – 75' Wide Lots 1 – 80' Wide Lots	80 DU	24.94 AC	3.2 DU/AC	4 AC / 16%	27%	27%
B Block 1 (lots 17-32) Blocks 4,8 Block 6 (lots 7-9) Block 7 (lots 6-9; 10-14) Block 9 (lots 7-9) Block 16 (lots 1-3; 13&14)	SINGLE FAMILY	26 – 60' Wide Lots 18 – 65' Wide Lots 9 – 70' Wide Lots 11 – 75' Wide Lots 7 – 80' Wide Lots 6 – 85' Wide Lots	77 DU	20.29 AC	3.8 DU/AC	.8 AC / 4%	26%	26%
C Blocks 13,14,15 Block 16 (Lots 4-12) Block 17	SINGLE FAMILY	1 – 65' Wide Lots 9 – 75' Wide Lots 31 – 80' Wide Lots 11 – 85' Wide Lots	52 DU	25.47 AC	2.0 DU/AC	8.3 AC / 33%	18%	18%
D Blocks 18,19,20	SINGLE FAMILY	13 – 75' Wide Lots 8 – 80' Wide Lots 10 – 85' Wide Lots	31 DU	15.18 AC	2.0 DU/AC	5.6 AC / 37%	10%	10%
E Block 9 (lots 1-6; 10-17) Blocks 10,11,12	SINGLE FAMILY	24 – 60' Wide Lots 14 – 65' Wide Lots 6 – 70' Wide Lots 9 – 75' Wide Lots 1 – 80' Wide Lots 3 – 85' Wide Lots	57 DU	16.26 AC	3.5 DU/AC	2.2 AC / 14%	19%	19%
F Tract E	Detention/OS			4.45 AC		1.9 AC / 4.3%		
<b>TOTAL</b>			<b>297 DU</b>	<b>106.59 AC</b>	<b>2.8 DU/AC</b>	<b>22.8 AC / 21%</b>	<b>100%</b>	<b>100%</b>

### LOT SQUARE FOOTAGE BREAKDOWN BY PARCEL AND LOT TYPE

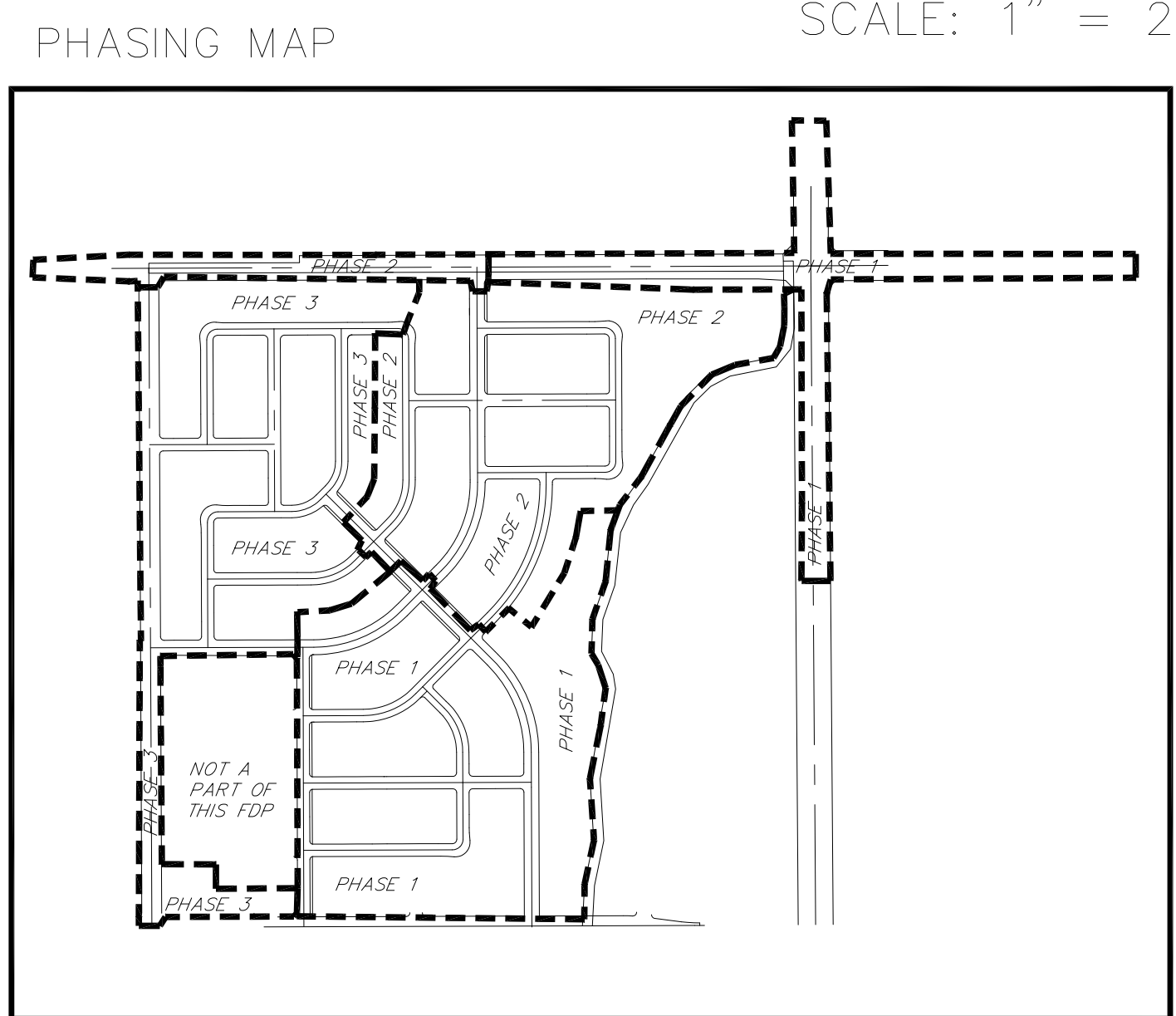
PARCEL	LOT TYPE	MINIMUM	MAXIMUM	AVERAGE
A	19 – 60' Wide Lots	6,433 s.f.	17,256 s.f.	8,130 s.f.
	42 – 65' Wide Lots	7,150 s.f.	11,340 s.f.	7,382 s.f.
	6 – 70' Wide Lots	7,150 s.f.	8,352 s.f.	7,494 s.f.
	12 – 75' Wide Lots	8,180 s.f.	8,952 s.f.	8,315 s.f.
	1 – 80' Wide Lots	8,219 s.f.	8,219 s.f.	8,219 s.f.
B	26 – 60' Wide Lots	6,600 s.f.	8,319 s.f.	6,970 s.f.
	18 – 65' Wide Lots	6,600 s.f.	16,771 s.f.	8,086 s.f.
	9 – 70' Wide Lots	7,438 s.f.	9,813 s.f.	7,143 s.f.
	11 – 75' Wide Lots	7,652 s.f.	9,460 s.f.	8,204 s.f.
	7 – 80' Wide Lots	8,204 s.f.	9,926 s.f.	8,877 s.f.
	6 – 85' Wide Lots	8,060 s.f.	12,183 s.f.	10,198 s.f.
C	1 – 65' Wide Lots	14,165 s.f.	14,165 s.f.	14,165 s.f.
	9 – 75' Wide Lots	8,973 s.f.	19,003 s.f.	10,449 s.f.
	31 – 80' Wide Lots	8,699 s.f.	13,000 s.f.	9,571 s.f.
	11 – 85' Wide Lots	9,010 s.f.	11,035 s.f.	9,934 s.f.
D	13 – 75' Wide Lots	7,856 s.f.	9,626 s.f.	8,968 s.f.
	8 – 80' Wide Lots	9,370 s.f.	10,030 s.f.	9,692 s.f.
	10 – 85' Wide Lots	9,216 s.f.	10,015 s.f.	9,782 s.f.
E	24 – 60' Wide Lots	6,600 s.f.	8,924 s.f.	7,051 s.f.
	14 – 65' Wide Lots	7,150 s.f.	9,175 s.f.	7,781 s.f.
	6 – 70' Wide Lots	7,755 s.f.	8,259 s.f.	7,948 s.f.
	9 – 75' Wide Lots	8,180 s.f.	9,703 s.f.	8,459 s.f.
	1 – 80' Wide Lots	9,866 s.f.	9,866 s.f.	9,866 s.f.
	3 – 85' Wide Lots	10,377 s.f.	10,754 s.f.	10,532 s.f.

### PARK LOCATIONS / AREA

PARK A (Within Tract B)	54,343 sq.ft.
PARK B (Within Tract I)	22,627 sq.ft.
PARK C (Within Tract D)	23,571 sq.ft.
PARK D (Within Tract H)	20,677 sq.ft.
PARK E (Within Tract F)	15,334 sq.ft.
PARK F (Within Tract K)	24,037 sq.ft.
<b>TOTAL</b>	<b>160,589 sq.ft. = 3.69 ac Open Play Field</b>

### PRODUCT

60' X 110' (MIN.)	69	UNITS
65' X 110' (MIN.)	75	UNITS
70' X 110' (MIN.)	21	UNITS
75' X 110' (MIN.)	54	UNITS
80' X 110' (MIN.)	48	UNITS
85' X 110' (MIN.)	30	UNITS
<b>TOTAL 297 UNITS/106.59 AC +/-</b>		
<b>GROSS DENSITY= 2.8 DU/AC</b>		



**Stanley Consultants Inc.**  
8000 S. Chester St.  
Centennial, CO 80112  
303.799.6806

Owner:  
Front Range Investment Holdings, LLC  
2365 Carillon Point  
Kirkland, WA 98121  
425.893.7882

**Eagle Brook Meadows**  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

PROJECT: 001041  
DRAWN BY: TM/RBS  
CHECK BY: RD  
ISSUE DATE: 04.02.04  
REVISIONS: 04.1.05  
05.16.05  
06.6.05  
09.19.05  
10.13.06  
08.23.19

Recording  
SHEET TITLE  
**SDP OVERALL PLAN**  
SHEET NUMBER

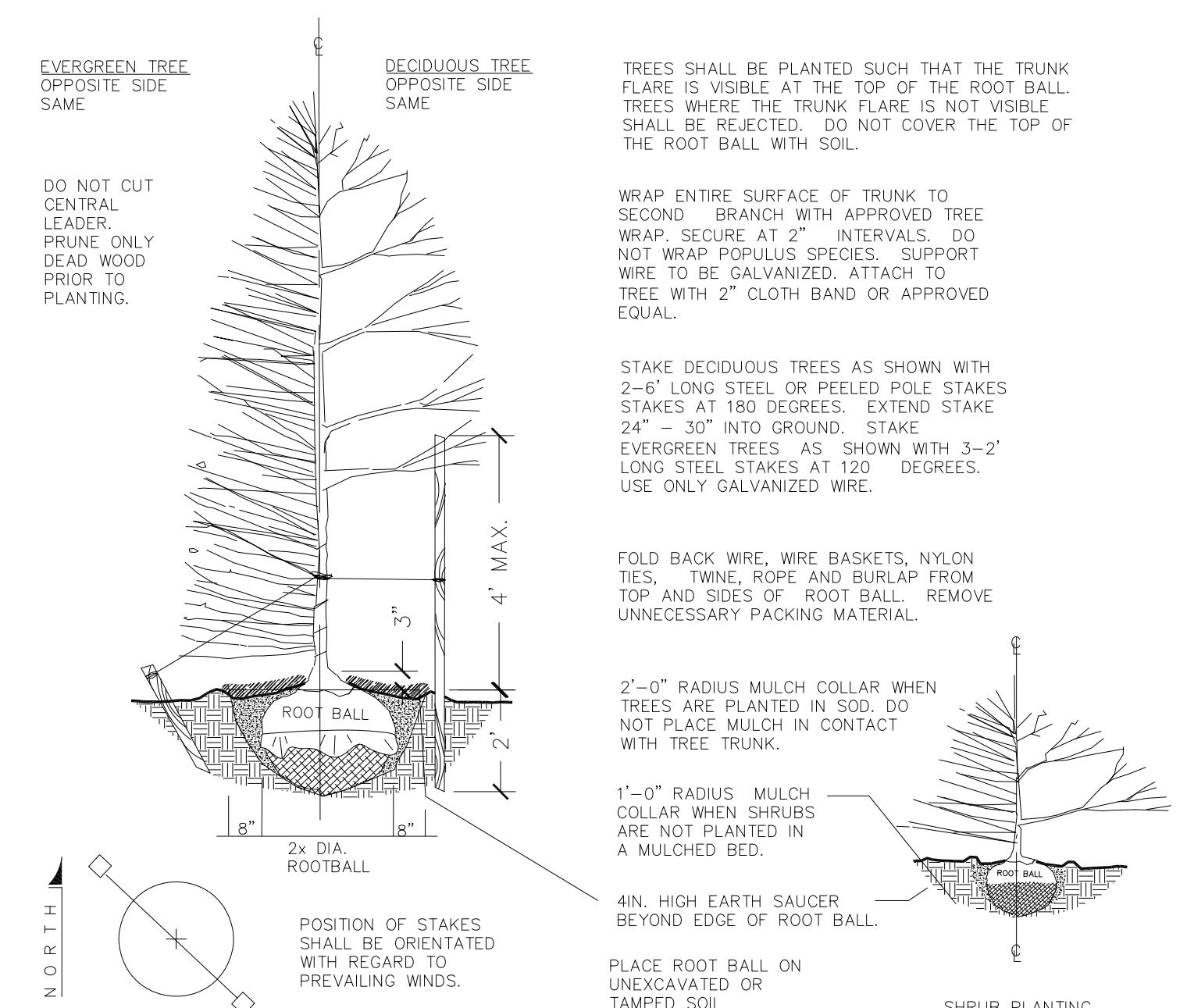
LANDSCAPE GENERAL NOTES:

- 1. AT TIME OF PLANTING, ALL PLANTS SHALL MEET THE FOLLOWING MINIMUM SIZE REQUIREMENTS, PER THE CITY OF LOVELAND: CANOPY TREES: 2" CALIPER ORNAMENTAL TREES: 1-1/2" CONIFEROUS TREES: 6' HEIGHT SHRUBS: 5 GALLON
- 2. STREET TREES SHALL NOT BE PLANTED WITHIN 4' OF EXISTING OR PROPOSED UNDERGROUND ELECTRIC LINES OR DIRECTLY UNDER EXISTING OVERHEAD LINES. STREET TREE LOCATIONS SHOWN ARE CONCEPTUAL, AND WILL BE ADJUSTED ACCORDINGLY TO DRIVEWAY AND UTILITY LOCATIONS.
- 3. NO PLANTING WILL BE ALLOWED WITHIN THE 20' PUBLIC ACCESS EASEMENT WITHOUT THE CITY OF LOVELAND PARKS DEPARTMENT APPROVAL.
- 4. TWO STREET TREES SHALL BE INSTALLED ON A CORNER LOT (ONE PER STREET FRONTAGE).
- 5. SIGHT DISTANCE EASEMENT RESTRICTS PERMANENT OBJECTS TALLER THAN 30" ABOVE PAVEMENT, WITHIN THE EASEMENT. STREET TREES SHALL BE PERMITTED AS REQUIRED BY SITE DEVELOPMENT STANDARDS AND SHALL BE "LIMBED UP" WITH NO BRANCHES EXTENDING BELOW 8.0' ABOVE PAVEMENT.
- 6. SOD WILL BE INSTALLED BY THE DEVELOPER WITHIN ALL ROW EASEMENTS AND TRACTS.
- 7. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- 8. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
- 9. STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TO TURF AREAS. STEEL EDGER SHALL BE GALVANIZED, 1/8" x 4" DEEP.
- 10. ALL SHRUB AND SOD AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 3 CUBIC YARDS "SUPREME ORGANICS" COMPOST (50% COW MANURE, 50% WOOD FINES, SUPPLIED BY JENSEN SALES, INC. DENVER) OR APPROVED EQUAL, PLUS 15 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROTOTILL TO A MINIMUM DEPTH OF 6".
- 11. SHRUB / PERENNIAL BEDS TO BE MULCHED WITH SHREDDED WOOD FIBER MULCH TO A DEPTH OF 3", OVER LANDSCAPE FABRIC. NO FABRIC, TO BE USED UNDER PERENNIAL AND ORNAMENTAL GRASS PLANTINGS.
- 12. SOIL BACKFILL MIXTURE FOR ALL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL AND 1/3 ON-SITE SOIL.
- 13. PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
- 14. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF FINAL INSPECTION. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. TREES AND SHRUBS SHALL HAVE A 100% ONGOING SURVIVAL RATE.
- 15. ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS AND TREES TO BE DRIP IRRIGATED. ALL DRIP LINES TO BE BURIED MINIMUM 2" IN MULCH.
- 16. SOD TO BE 100% FESCUE SOD FROM SINGLE GROWER. SEED-AS SPECIFIED IN LANDSCAPE PLAN/PLANT LIST.
- 17. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN PLANT QUANTITIES.
- 18. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT AND DEVELOPER.
- 19. PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCRIFY SIDES TO PREVENT GLAZING.
- 20. AFTER PLANTING, ALL PLANTS SHOULD REST WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (1.5" HIGHER FOR SHRUBS, 3" HIGHER FOR TREES.)
- 21. PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING. ALLOW WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL WITHOUT FURTHER PACKING. A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
- 22. FOR TREES IN SOD, ALLOW A 2' DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH OF WOOD MULCH FOLLOWING SOD INSTALLATION.
- 23. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
- 24. NO TREES SHALL BE INSTALLED CLOSER THAN 10' TO THE CENTERLINE OF STORM SEWERS, WATERLINES, AND SANITARY SEWER LINES.

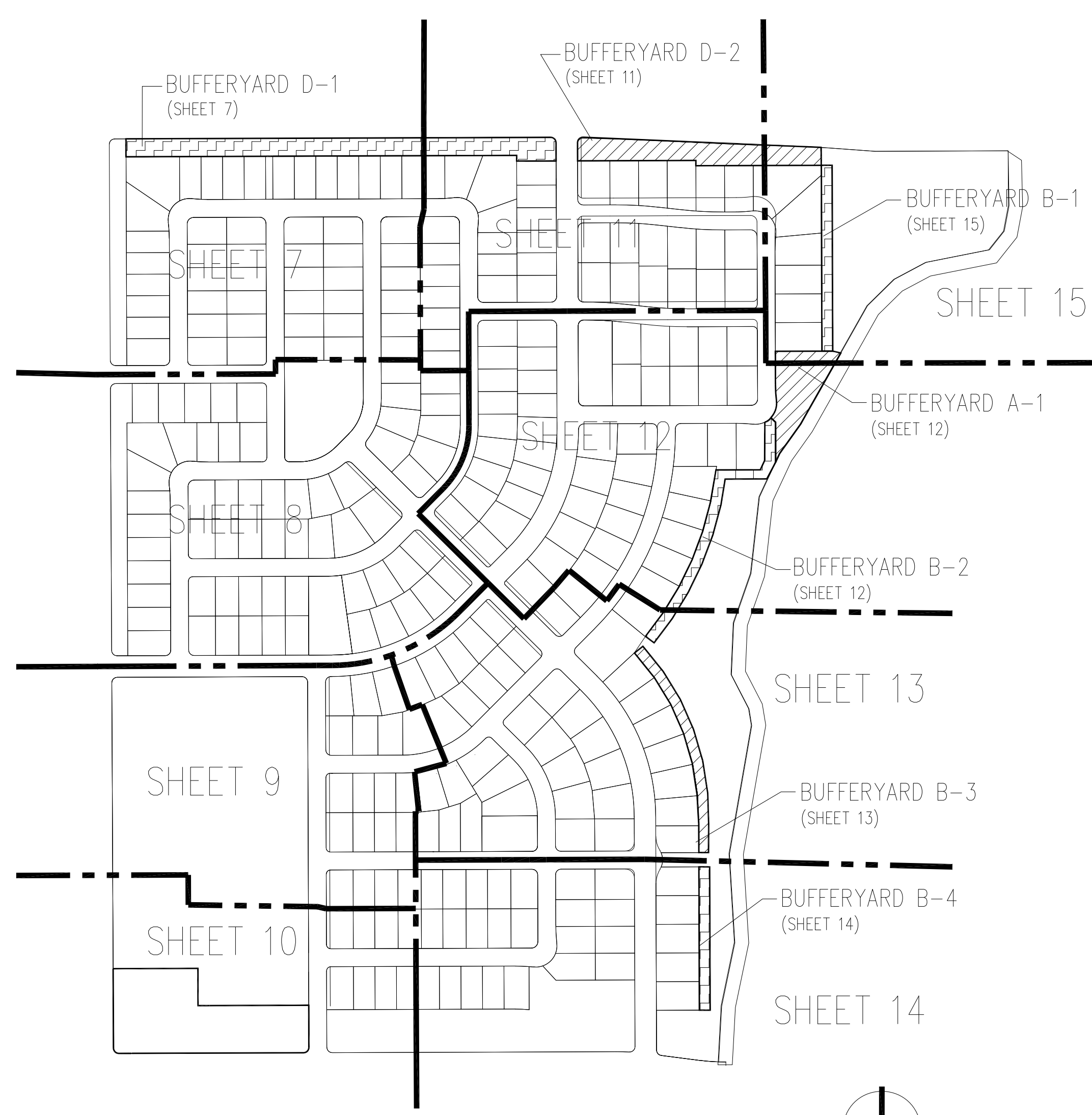
EAGLE BROOK MEADOWS SDP PLANT LIST

BUFFERYARD PLANT MATERIAL CLASSIFICATION: CANOPY TREE

Table with columns: QTY., SYM, COMMON NAME, BOTANICAL NAME, CLASSIFICATION PER BUFFERYARD STANDARDS, SIZE & CONDITION. Lists various tree and shrub species like Acer fremanii, Prunus maackii, Quercus macrocarpa, etc.



1 Planting and Staking Detail Scale Not To Scale



- Seeding: 1. Seeding of wetlands and upland areas within Disturbance Areas 1,2, and 3 of the Dry Creek drainage will be per the Corps of Engineers 404 permit program- Individual Permit Application by Cedar Creek Meadows, September 2000.
- 2. Unless specified otherwise, all other disturbed areas within the Dry Creek drainage and Loudon Ditch are to be seeded with the following mix:

Table with columns: Species, Variety, Percent of Mix. Lists Western Wheatgrass, Green Needlegrass, Blue Grama, etc.

\*Seeding Rate TBD

Landscape Architect/Planner:

Stanley Consultants inc. 8000 S. Chester St. Centennial, CO 80112 303.799.6806

Owner: Front Range Investment Holdings, LLC 2365 Carillon Point Kirkland, WA 98121 425.893.7882

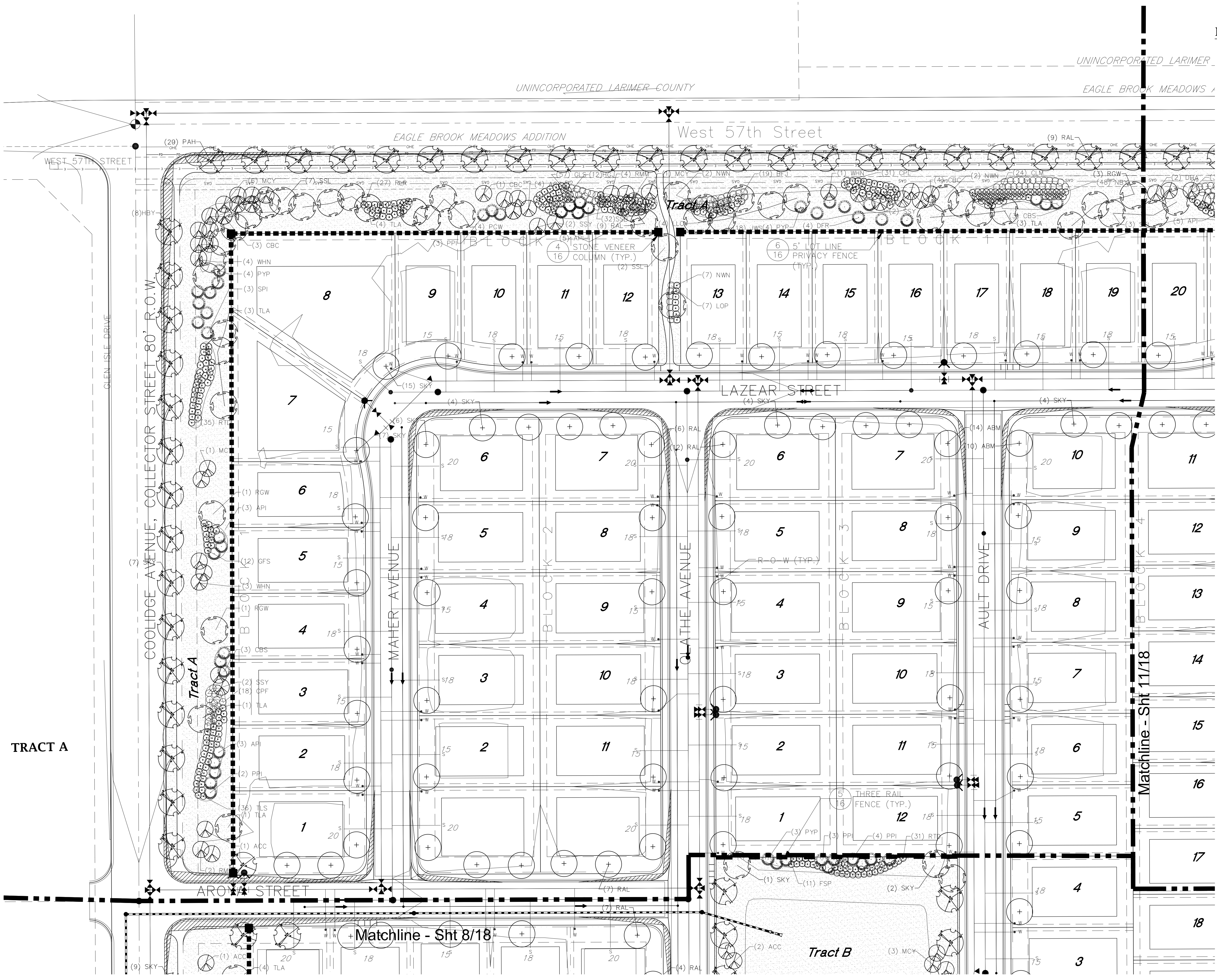
Eagle Brook Meadows Site Development Plan Loveland, Colorado Front Range Investment Holdings, LLC

Table with columns: PROJECT, DRAWN BY, CHECK BY, ISSUE DATE, REVISIONS. Lists project number 28605 and various revision dates.

Recording SHEET TITLE LANDSCAPE NARRATIVE SHEET NUMBER

LEGEND

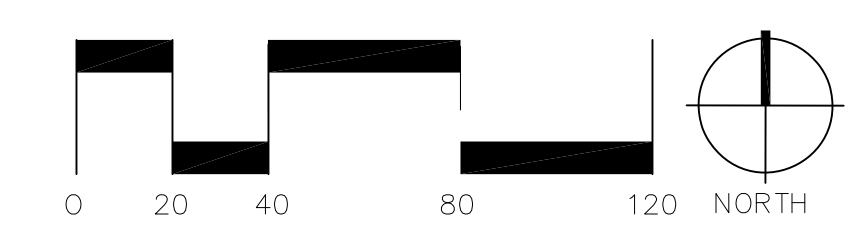
- Sight Triangle
- Fence Symbols
  - Three Rail Fence
  - 5' Privacy Fence
  - Stone Column
- Plant Symbols
  - Canopy Street Trees to be installed by the Home Builder and maintained by the homeowner.
  - Canopy Street Trees to be installed by the developer and maintained by the HOA.
  - Canopy Trees within open space and bufferyards to be installed by the developer and maintained by the HOA.
  - Ornamental Tree
  - Evergreen Tree
  - Large Woody Shrub
  - Small to Medium Shrub
  - Sod
  - Natural Seed



Eagle Brook Meadows  
Site Development Plan  
Loveland, Colorado  
Front Range Investment Holdings, LLC

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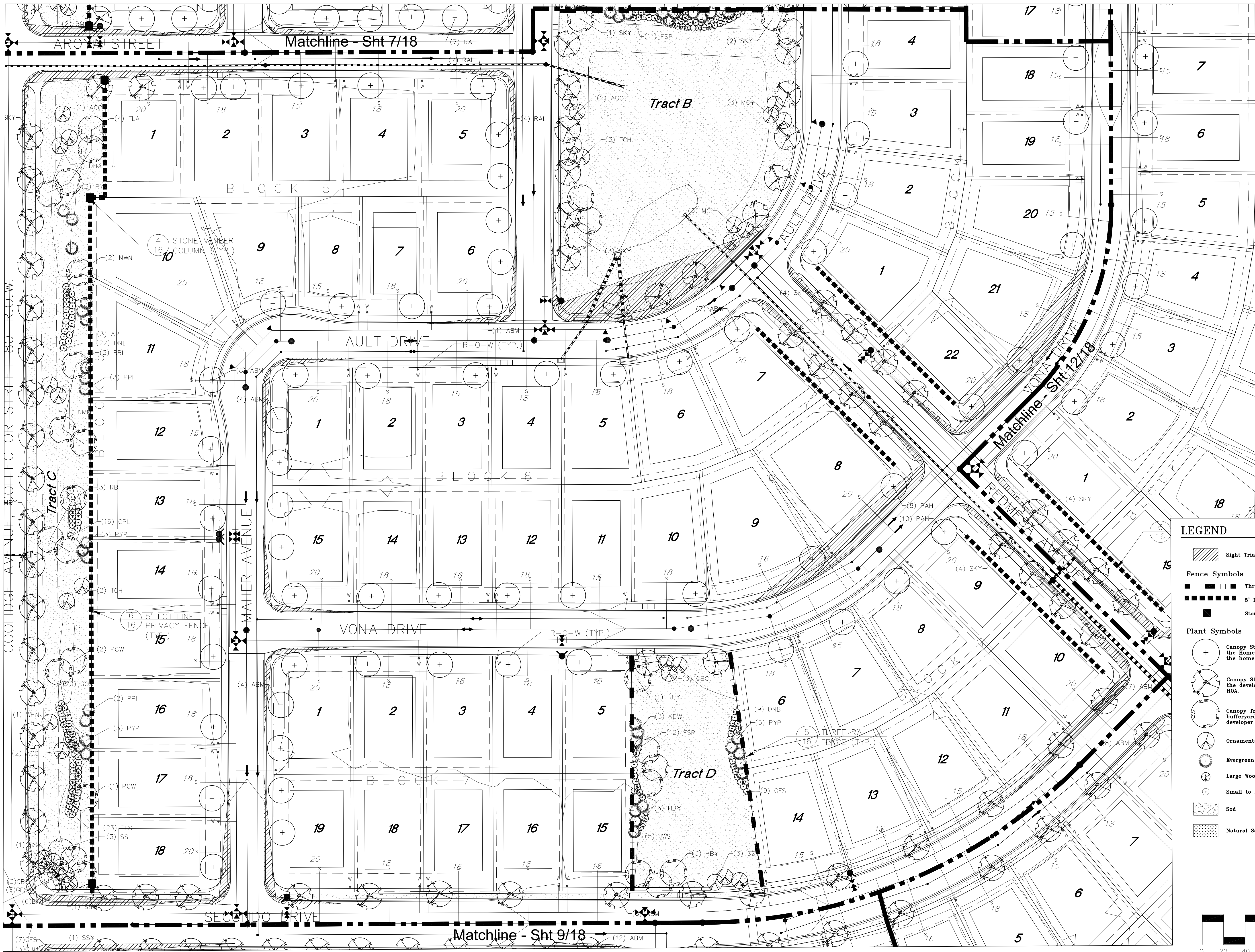
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SITE  
PLAN  
SHEET NUMBER



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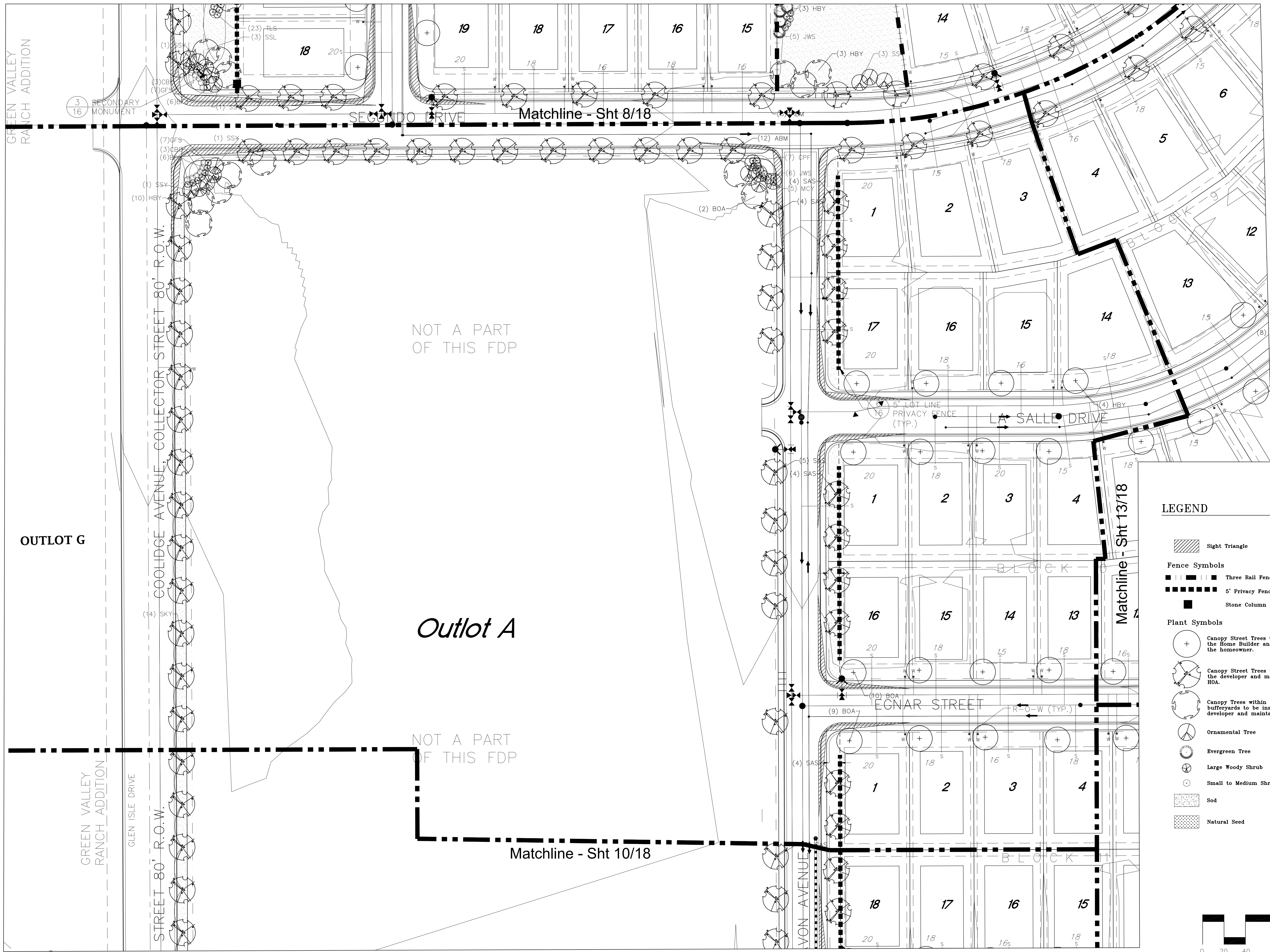
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Recording  
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**SDP  
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**LEGEND**

- Sight Triangle
- Fence Symbols**
  - Three Rail Fence
  - 5' Privacy Fence
  - Stone Column
- Plant Symbols**
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  - Ornamental Tree
  - Evergreen Tree
  - Large Woody Shrub
  - Small to Medium Shrub
  - Sod
  - Natural Seed



NOT A PART OF THIS FDP

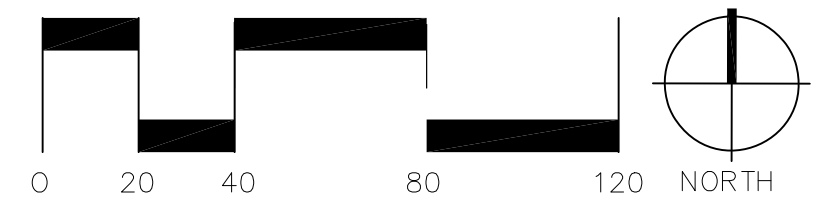
Outlot A

NOT A PART OF THIS FDP

**LEGEND**

- Sight Triangle
- Fence Symbols**
  - Three Rail Fence
  - 5' Privacy Fence
  - Stone Column

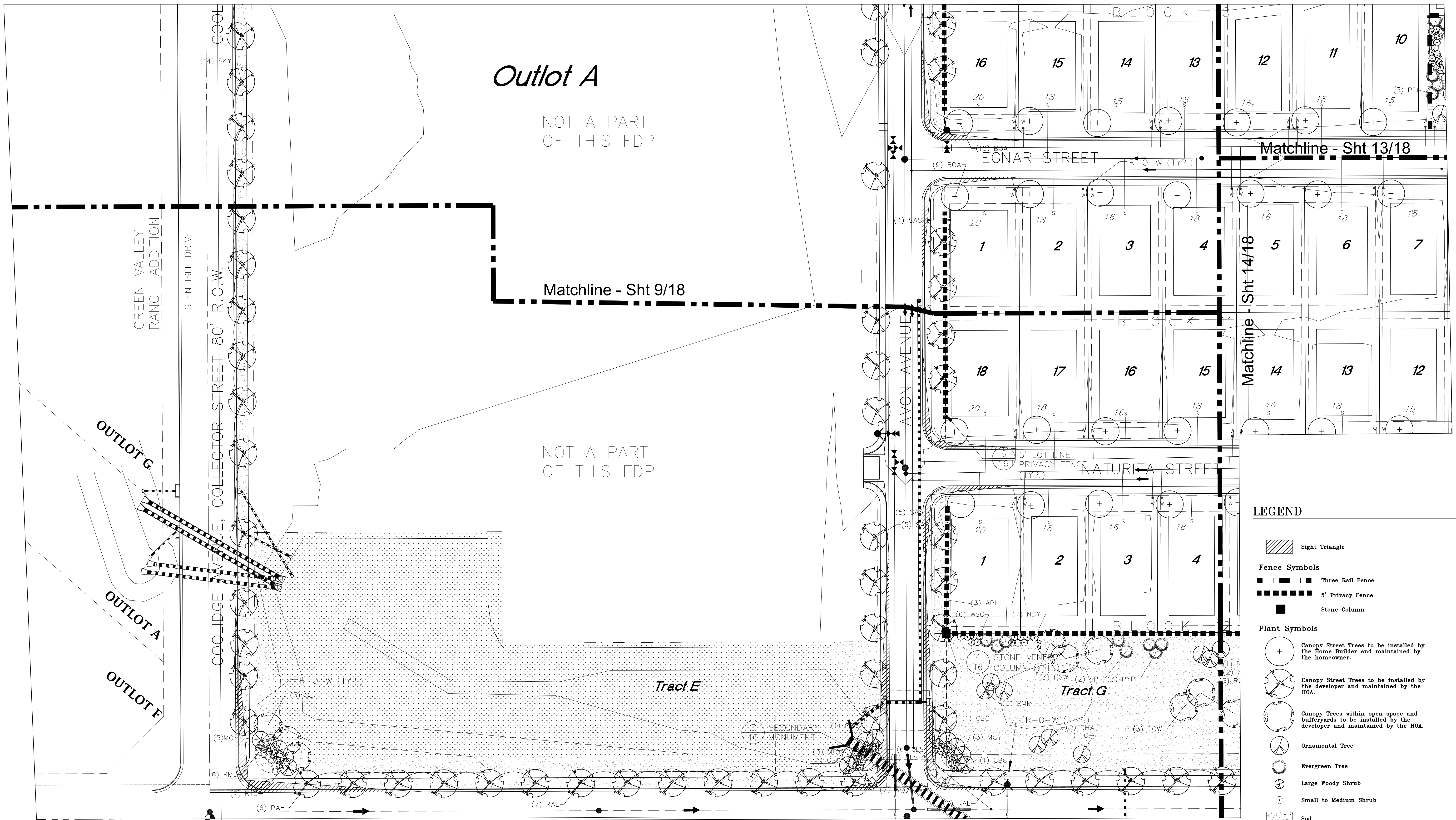
- Plant Symbols**
  - Canopy Street Trees to be installed by the Home Builder and maintained by the homeowner.
  - Canopy Street Trees to be installed by the developer and maintained by the HOA.
  - Canopy Trees within open space and buffers/yards to be installed by the developer and maintained by the HOA.
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  - Small to Medium Shrub
  - Sod
  - Natural Seed



**Eagle Brook Meadows**  
Site Development Plan  
Loveland, Colorado  
Front Range Investment Holdings, LLC

PROJECT:	28605
DRAWN BY:	TM/RBS
CHECK BY:	RD
ISSUE DATE:	04.02.04
REVISIONS:	08.10.04
	04.1.05
	05.16.05
	06.6.05
	09.19.05
	10.13.06

Recording  
SHEET TITLE  
**SDP  
SITE  
PLAN**



**LEGEND**

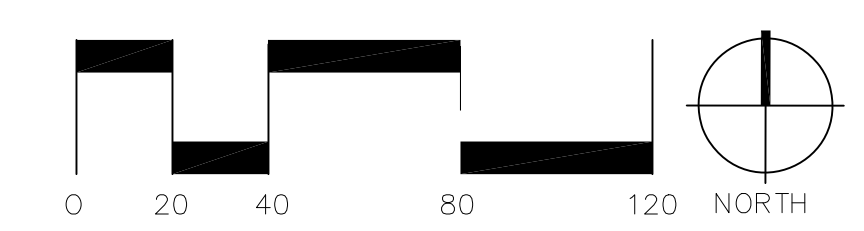
- Sight Triangle
- Fence Symbols**
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Eagle Brook Meadows  
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	09.19.05

Recording  
SHEET TITLE  
SDP  
SITE  
PLAN

SHEET NUMBER



UNINCORPORATED LARIMER COUNTY  
(FIRST UNITED METHODIST CHURCH  
M.R.D. #S-74-87 TRACT A)

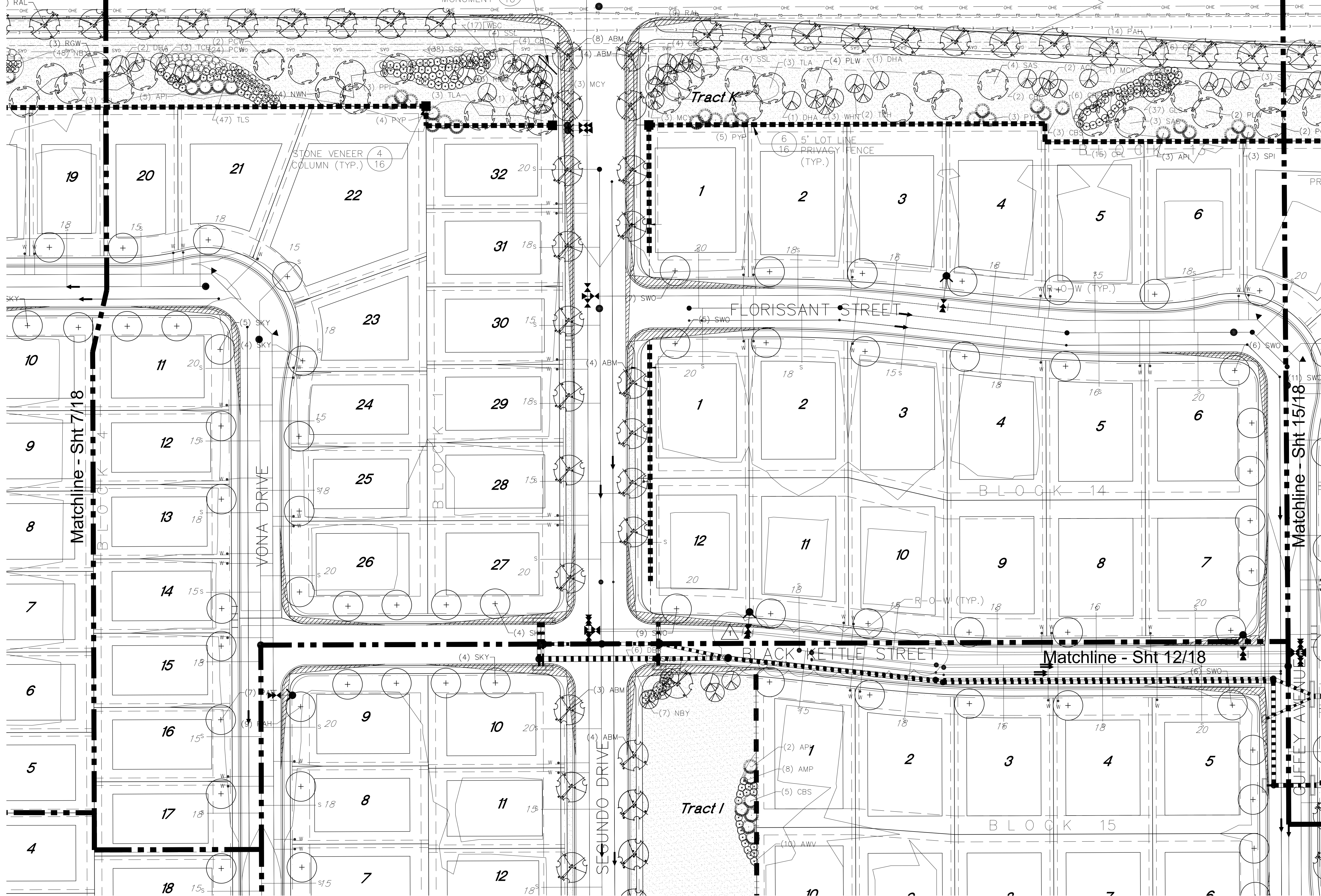
(FIRST UNITED METH...

UNINCORPORATED LARIMER COUNTY (FIRST UNITED METHODIST CHURCH M.R.D. #S-74-87 TRACT B)

EAGLE BROOK MEADOWS ADDITION

EAGLE BROOK MEADOWS ADDITION

W. 57th Street 4 Lane Arterial 120' R.O.W.



LEGEND

Sight Triangle

Fence Symbols

Three Rail Fence

5' Privacy Fence

Stone Column

Plant Symbols

Canopy Street Trees to be installed by the Home Builder and maintained by the homeowner.

Canopy Street Trees to be installed by the developer and maintained by the HOA.

Canopy Trees within open space and bufferyards to be installed by the developer and maintained by the HOA.

Ornamental Tree

Evergreen Tree

Large Woody Shrub

Small to Medium Shrub

Sod

Natural Seed

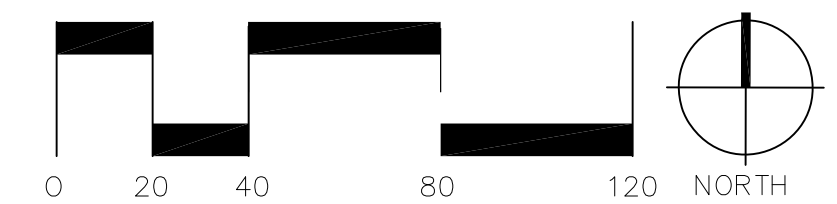
SDP AMENDMENT 1

Eagle Brook Meadows  
Site Development Plan  
Loveland, Colorado  
Front Range Investment Holdings, LLC

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	06.6.05
	09.19.05
	08.23.19

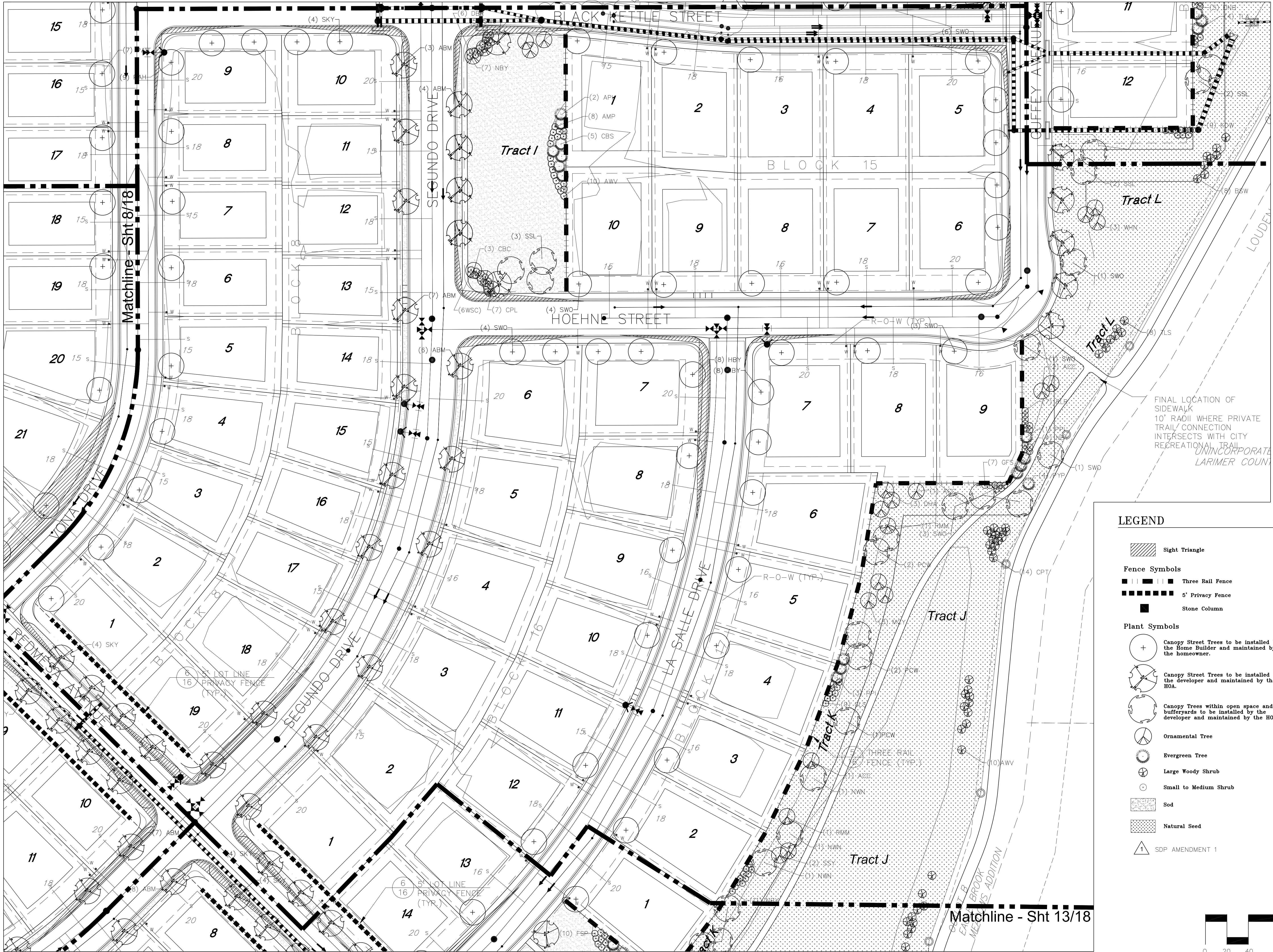
Recording  
SHEET TITLE  
SDP  
SITE  
PLAN

SHEET NUMBER





Matchline - Sht 11/18



**LEGEND**

- Sight Triangle
- Fence Symbols**
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  - Stone Column
- Plant Symbols**
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  - Sod
  - Natural Seed
  - SDP AMENDMENT 1

FINAL LOCATION OF SIDEWALK 10' RADII WHERE PRIVATE TRAIL CONNECTION INTERSECTS WITH CITY RECREATIONAL TRAIL

UNINCORPORATED LARIMER COUNTY

Matchline - Sht 13/18

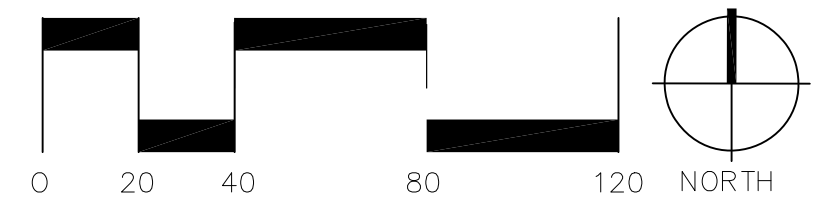
Landscape Architect/Planner:  
**Stanley Consultants Inc.**  
 8000 S. Chester St.  
 Centennial, CO 80112  
 303.799.6806

Owner:  
 Front Range Investment Holdings, LLC  
 2365 Carillon Point  
 Kirkland, WA 98121  
 425.893.7882

**Eagle Brook Meadows**  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

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	06.6.05
	09.19.05
	08.23.19

Recording  
 SHEET TITLE  
**SDP SITE PLAN**  
 SHEET NUMBER



LEGEND

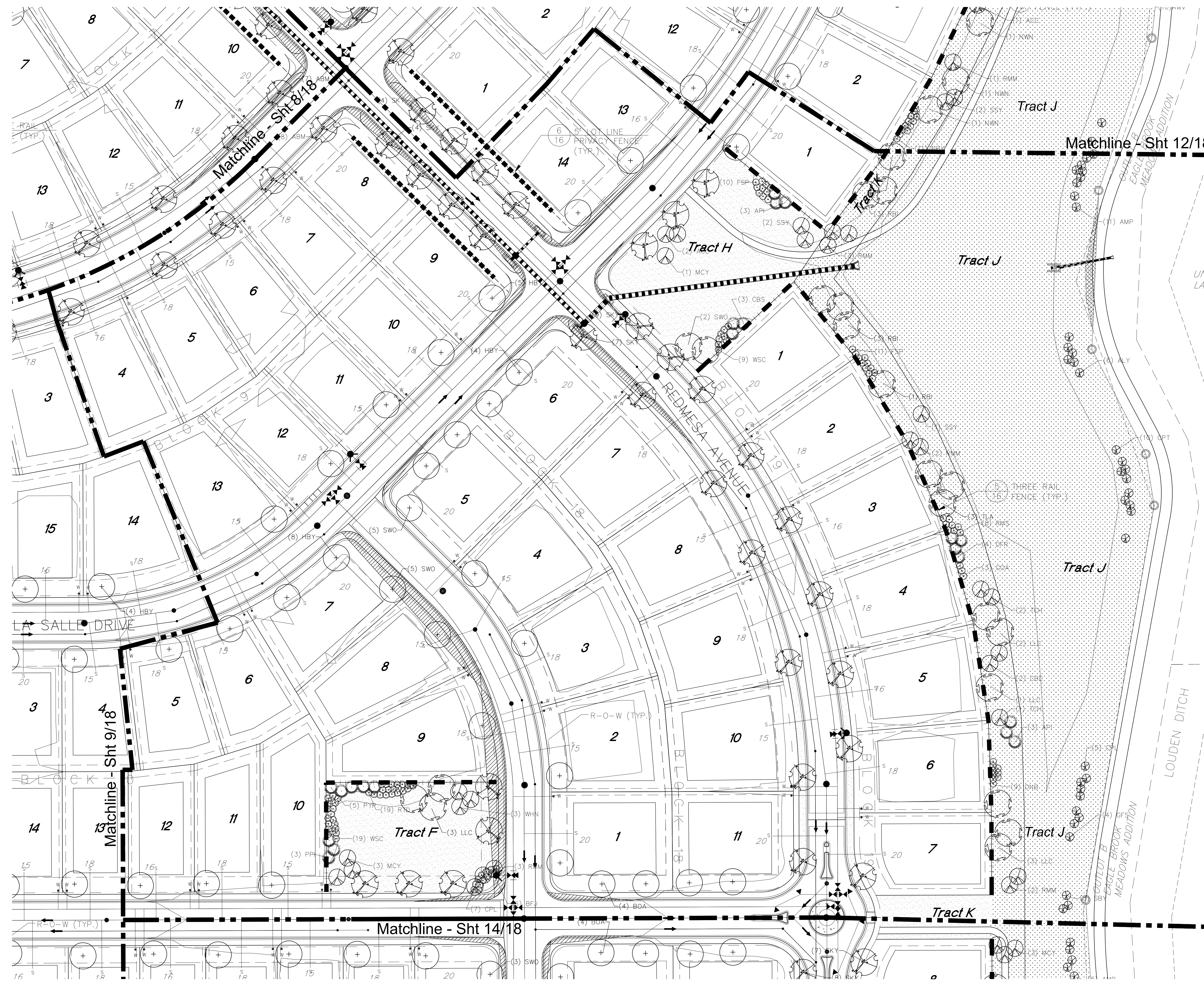
Sight Triangle

Fence Symbols

- Three Rail Fence
- 5' Privacy Fence
- Stone Column

Plant Symbols

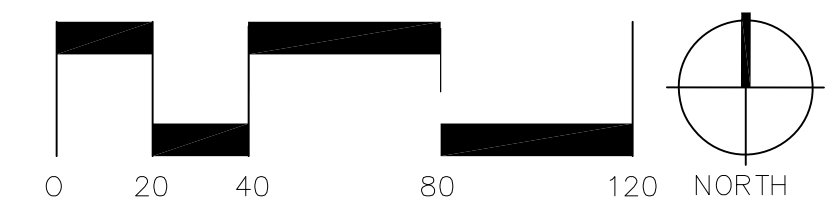
- Canopy Street Trees to be installed by the Home Builder and maintained by the homeowner.
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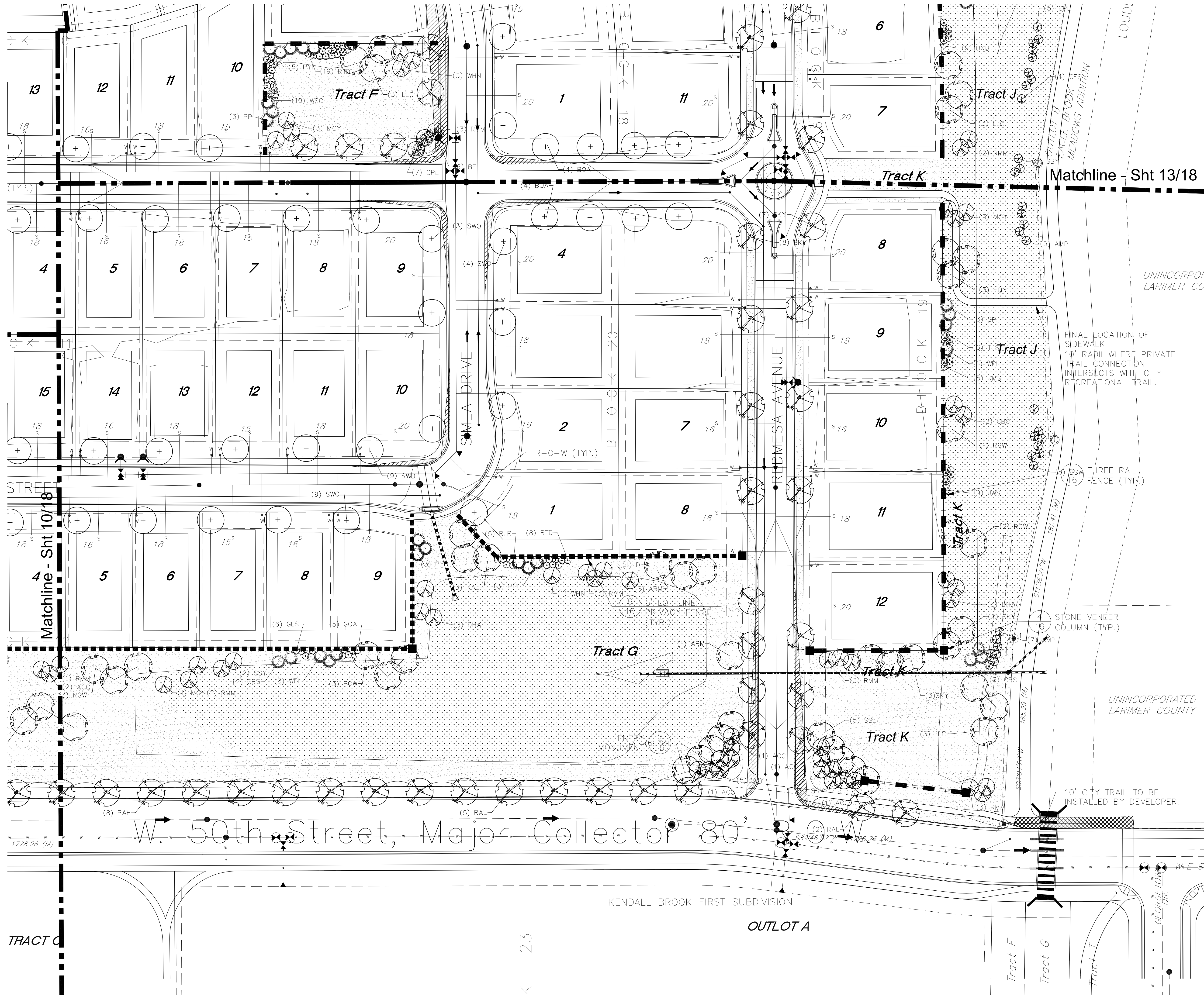


Eagle Brook Meadows  
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Loveland, Colorado  
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Recording  
SHEET TITLE  
SDP  
SITE  
PLAN  
SHEET NUMBER





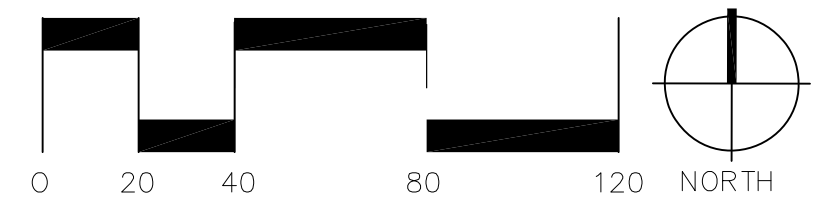
**LEGEND**

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**Eagle Brook Meadows**  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

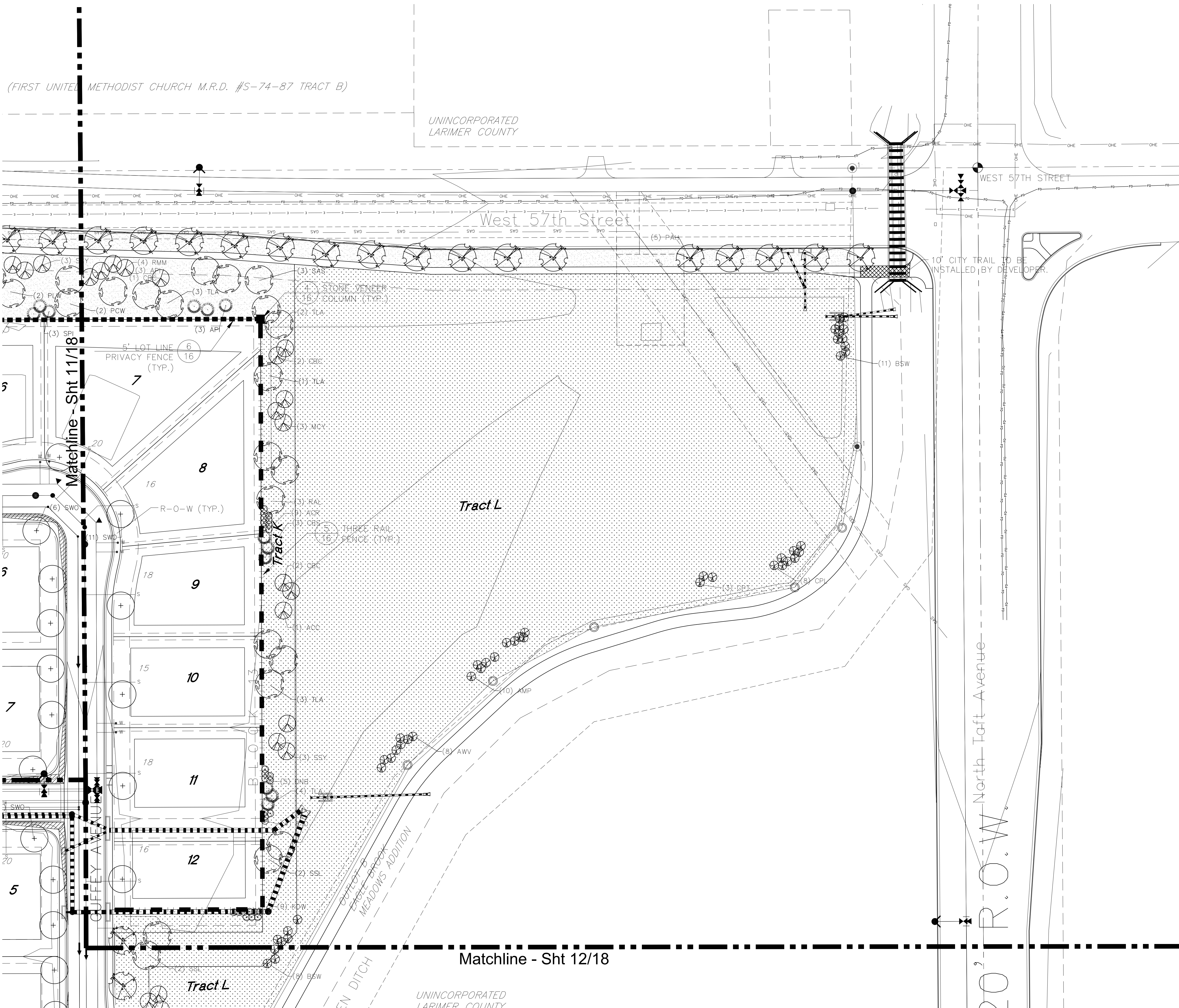
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Recording  
 SHEET TITLE  
**SDP**  
**SITE**  
**PLAN**  
 SHEET NUMBER



(FIRST UNITED METHODIST CHURCH M.R.D. #S-74-87 TRACT B)

UNINCORPORATED  
 LARIMER COUNTY



**LEGEND**

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**Eagle Brook Meadows**  
 Final Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

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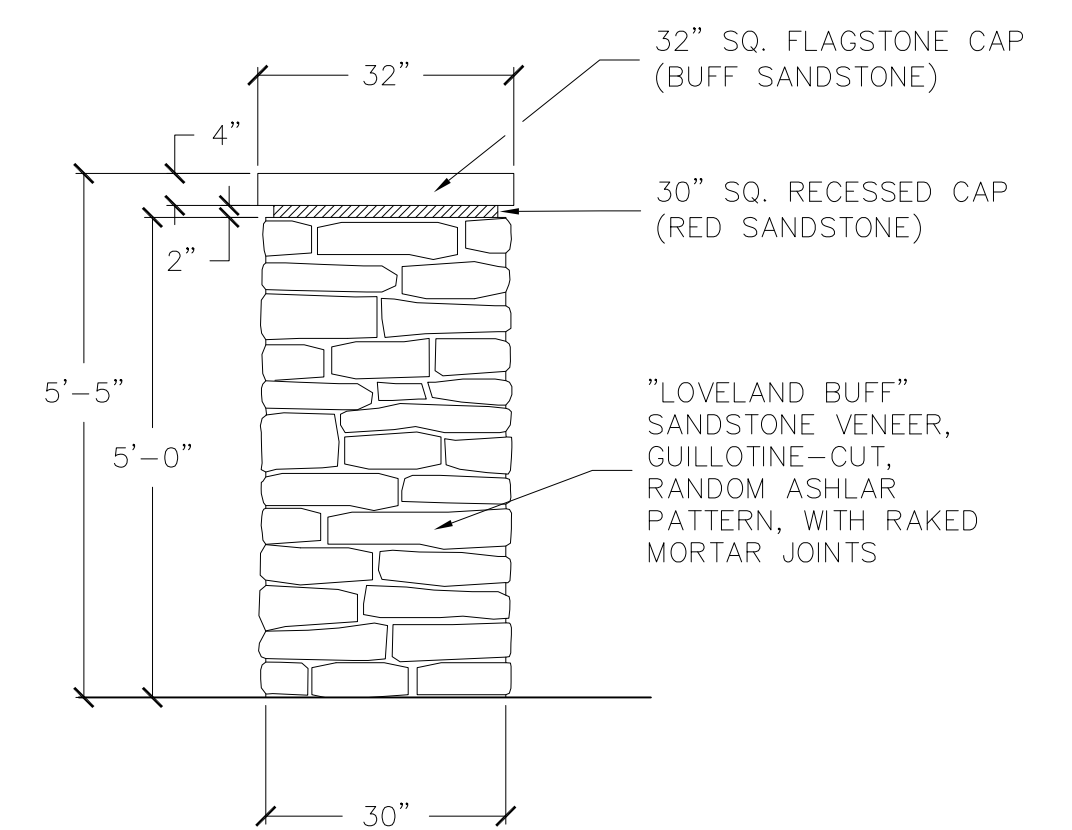
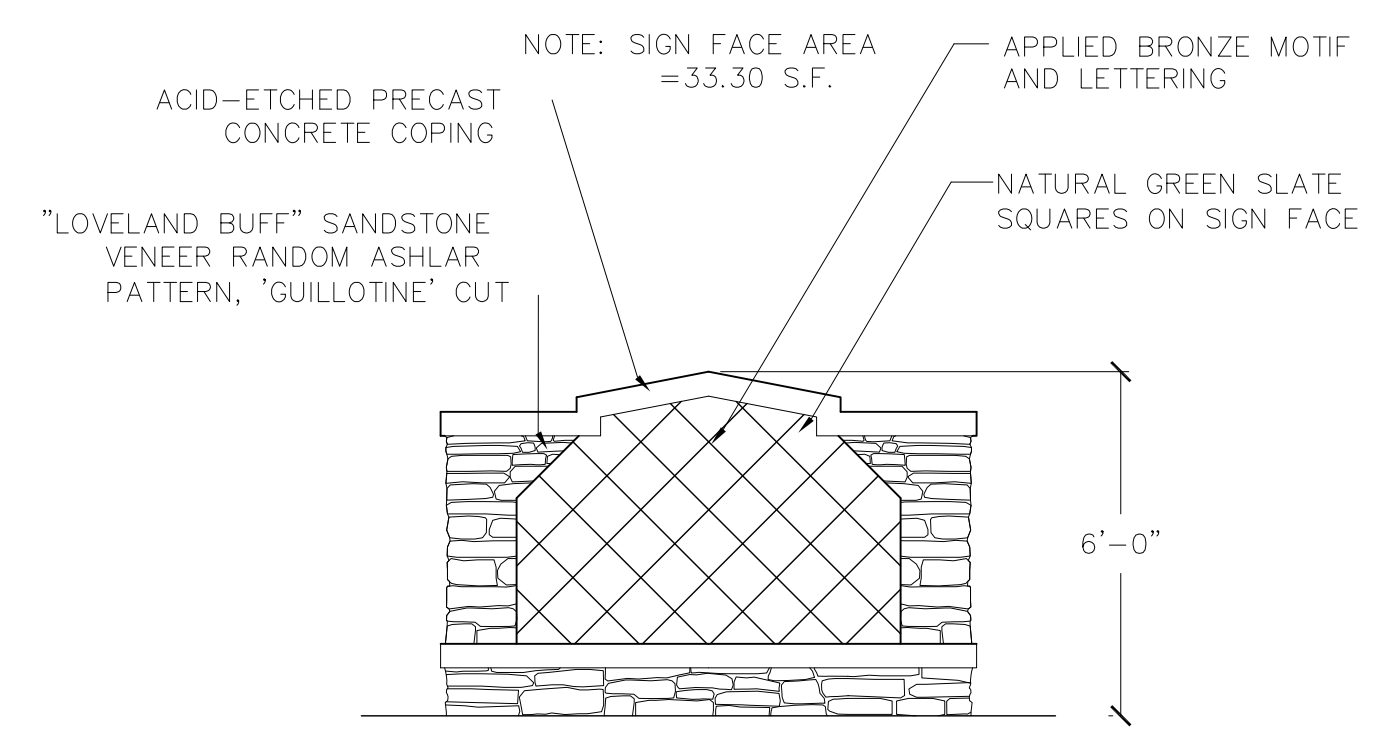
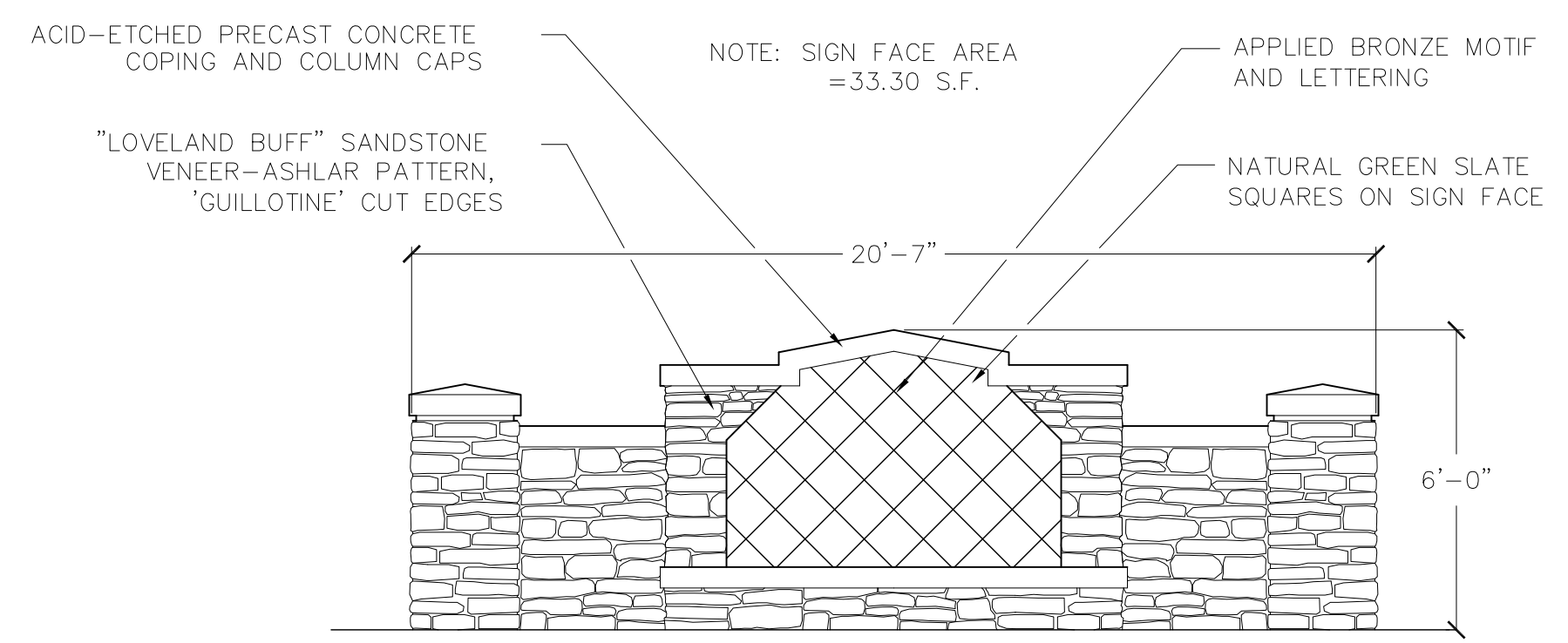
Recording  
 SHEET TITLE  
**SDP  
 SITE  
 PLAN**

SHEET NUMBER

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	04.1.05
	05.16.05
	09.19.05

Recording  
 SHEET TITLE  
**DETAILS AND TYPICALS**

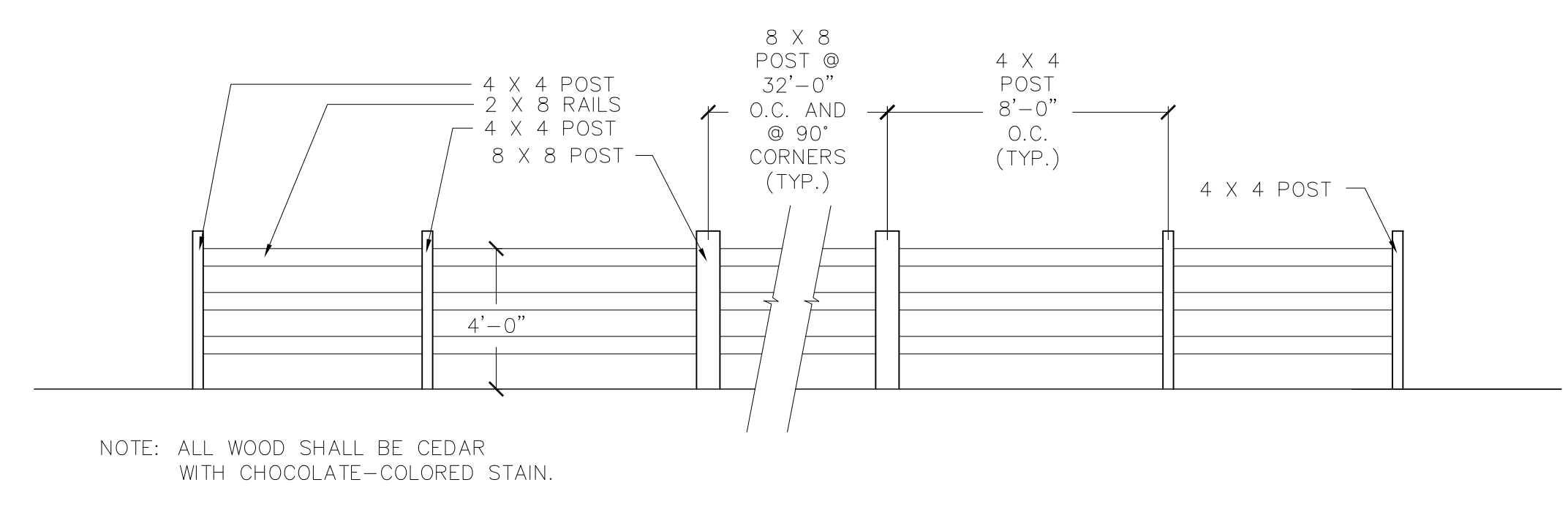
SHEET NUMBER



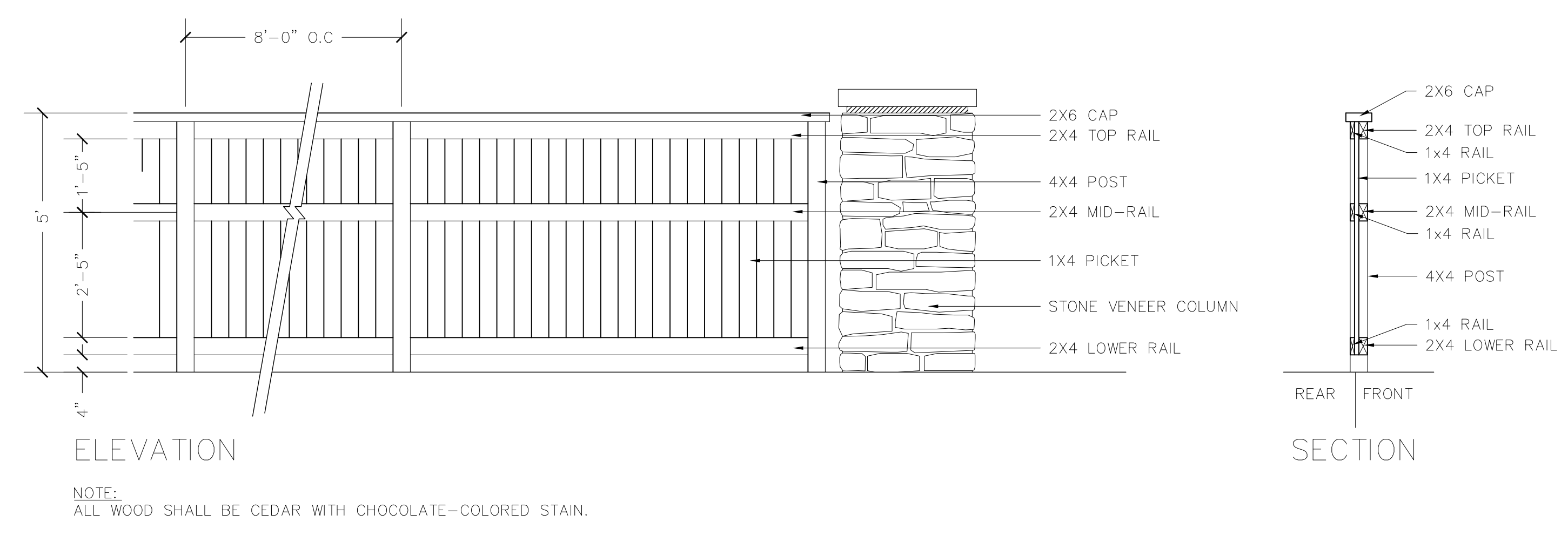
2 Entry Monument  
 Scale: 1/4"=1'

3 Secondary Entry Monument  
 Scale: 1/4"=1'

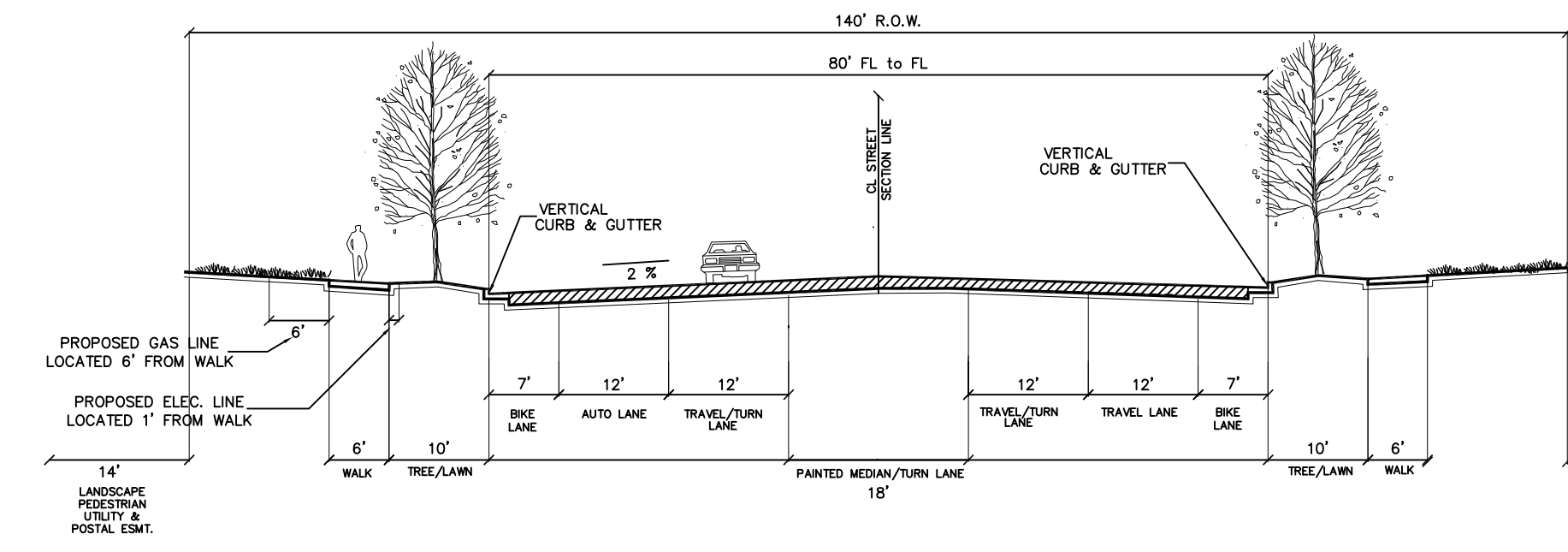
4 Stone Veneer Column  
 Scale: 1/2"=1'



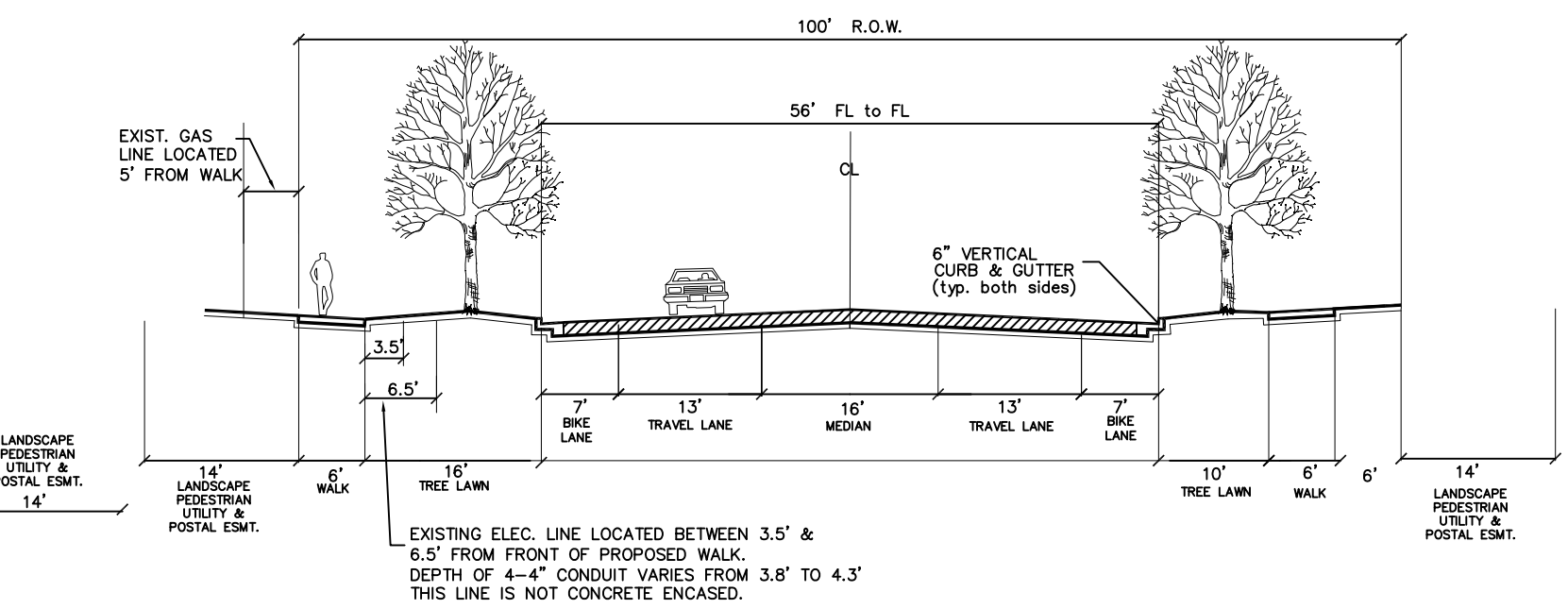
5 Three Rail Fence  
 Scale: 1/4"=1'



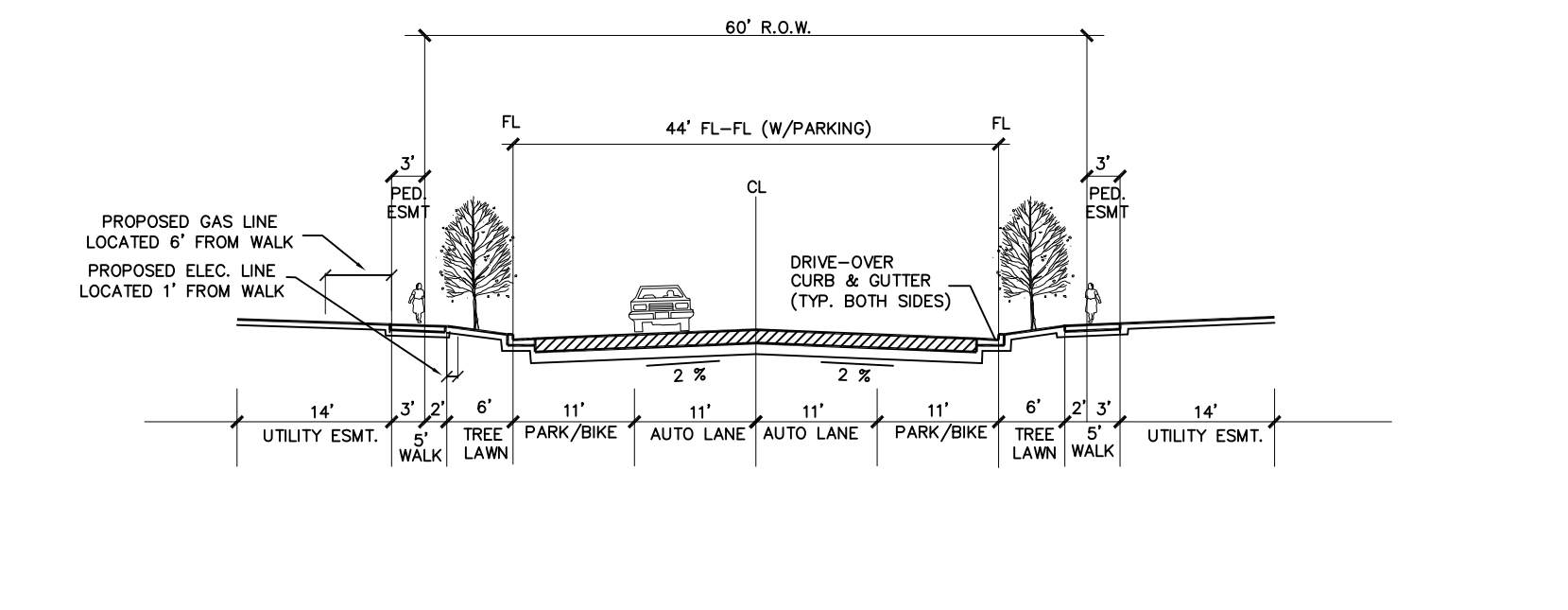
6 5' Lot Line Privacy Fence  
 Scale: 1/2"=1'



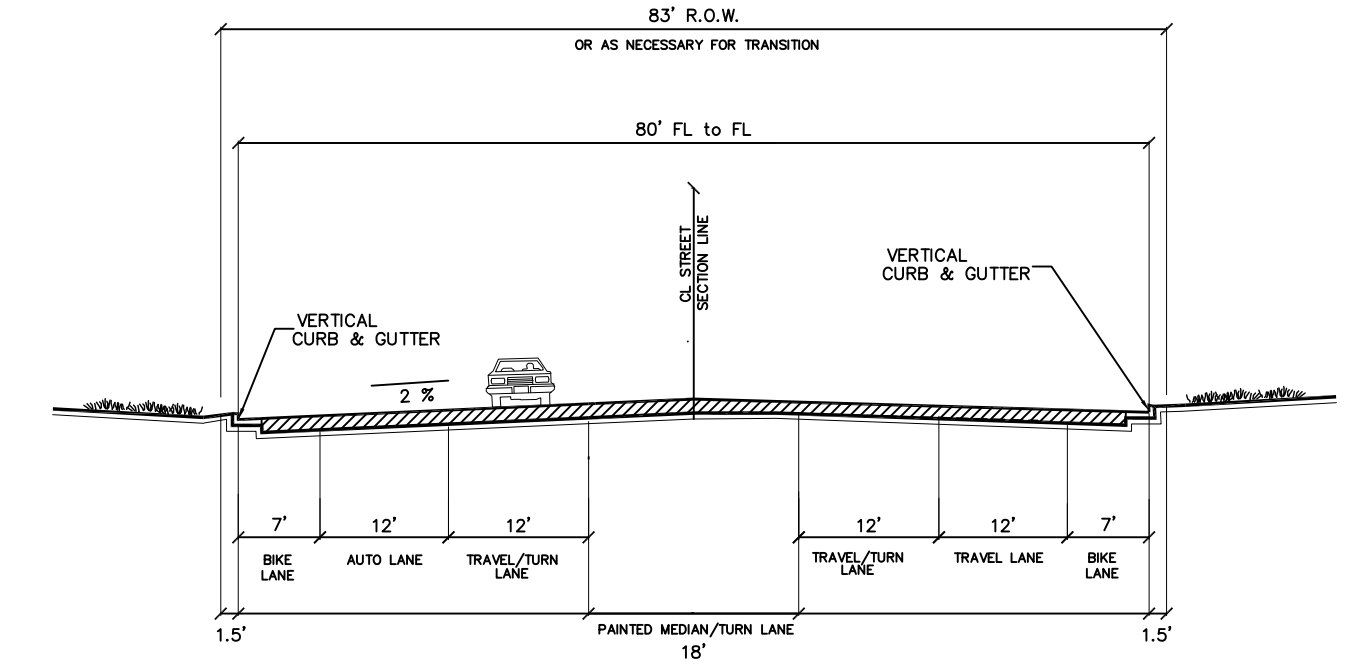
**4-LANE ARTERIAL**  
 NORTH TAFT AVENUE – ULTIMATE SECTION (W. 50TH STREET TO W. 57TH STREET) Not to Scale



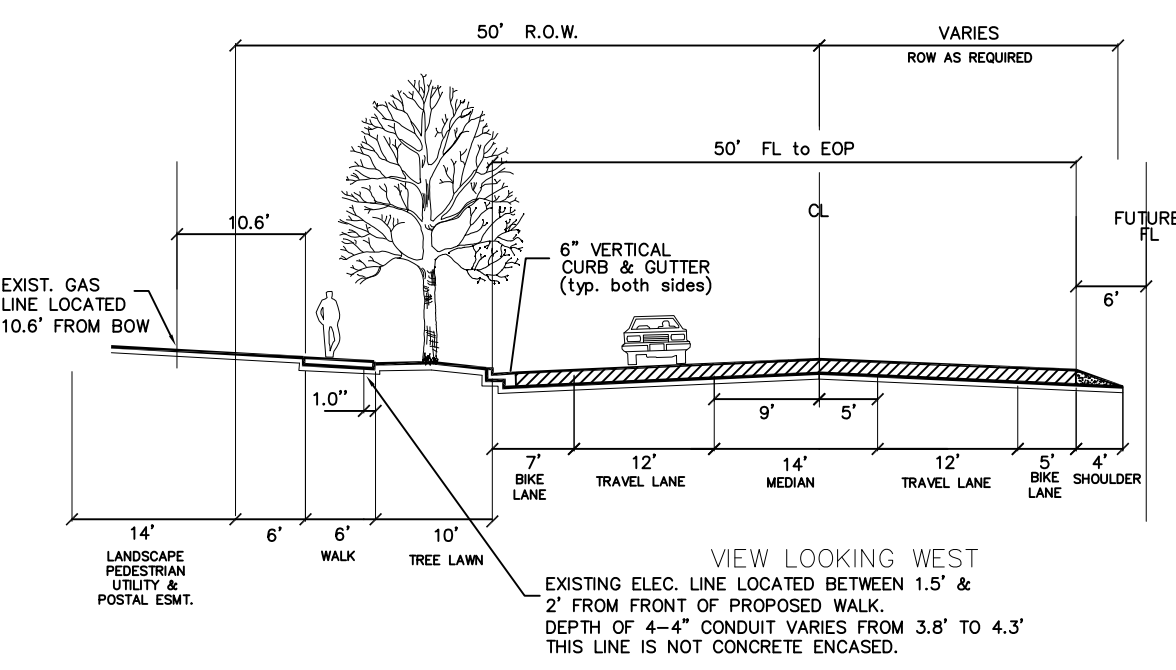
**2-LANE ARTERIAL**  
 57th STREET – ULTIMATE SECTION Not to Scale



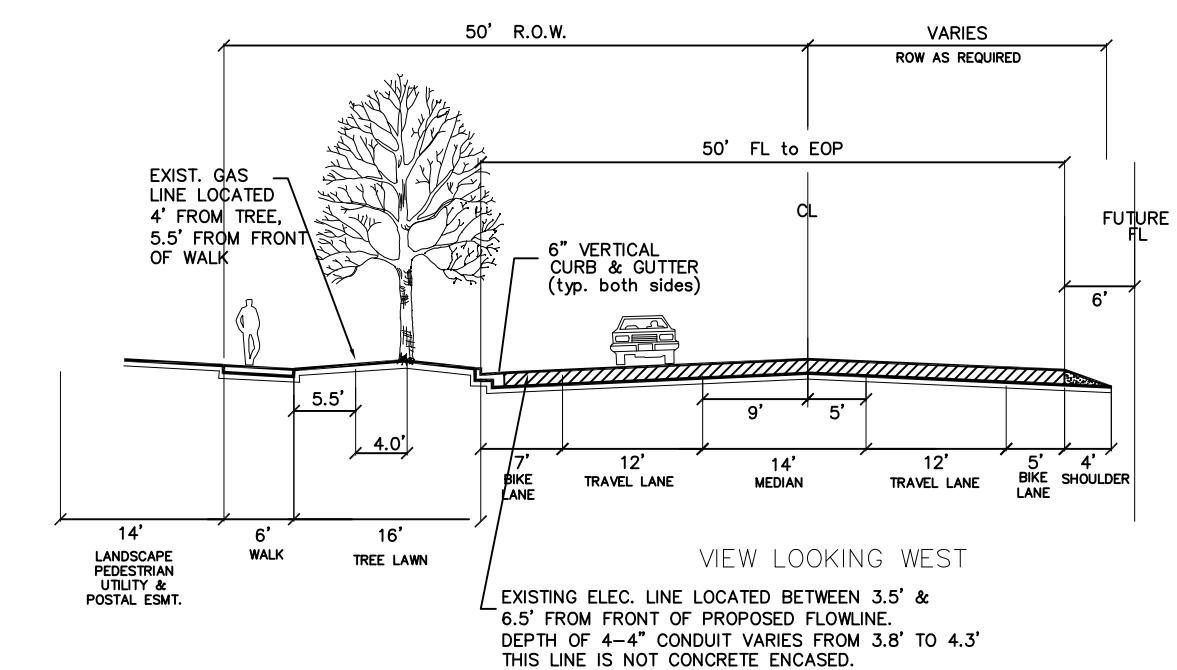
**MINOR COLLECTOR STREET**  
 SEGUNDO DRIVE Not to Scale



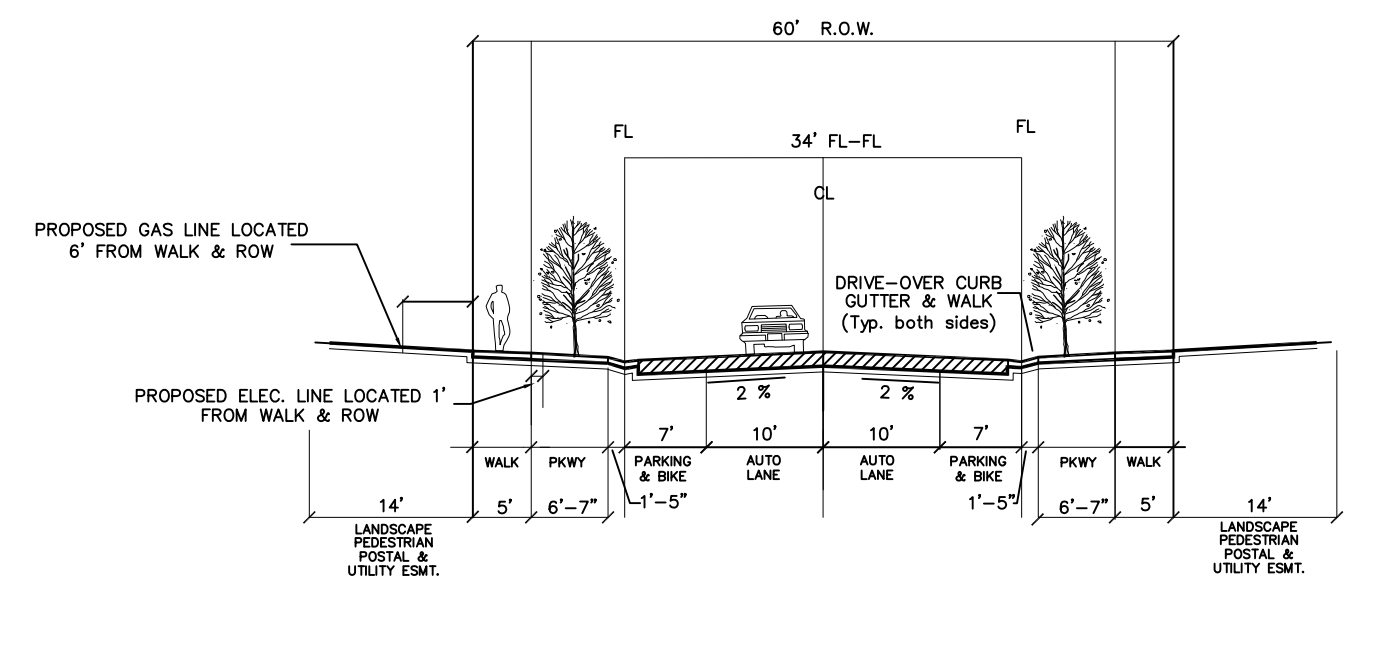
**4-LANE ARTERIAL**  
 NORTH TAFT AVENUE – INTERIM SECTION (W. 50TH STREET TO W. 57TH STREET) Not to Scale



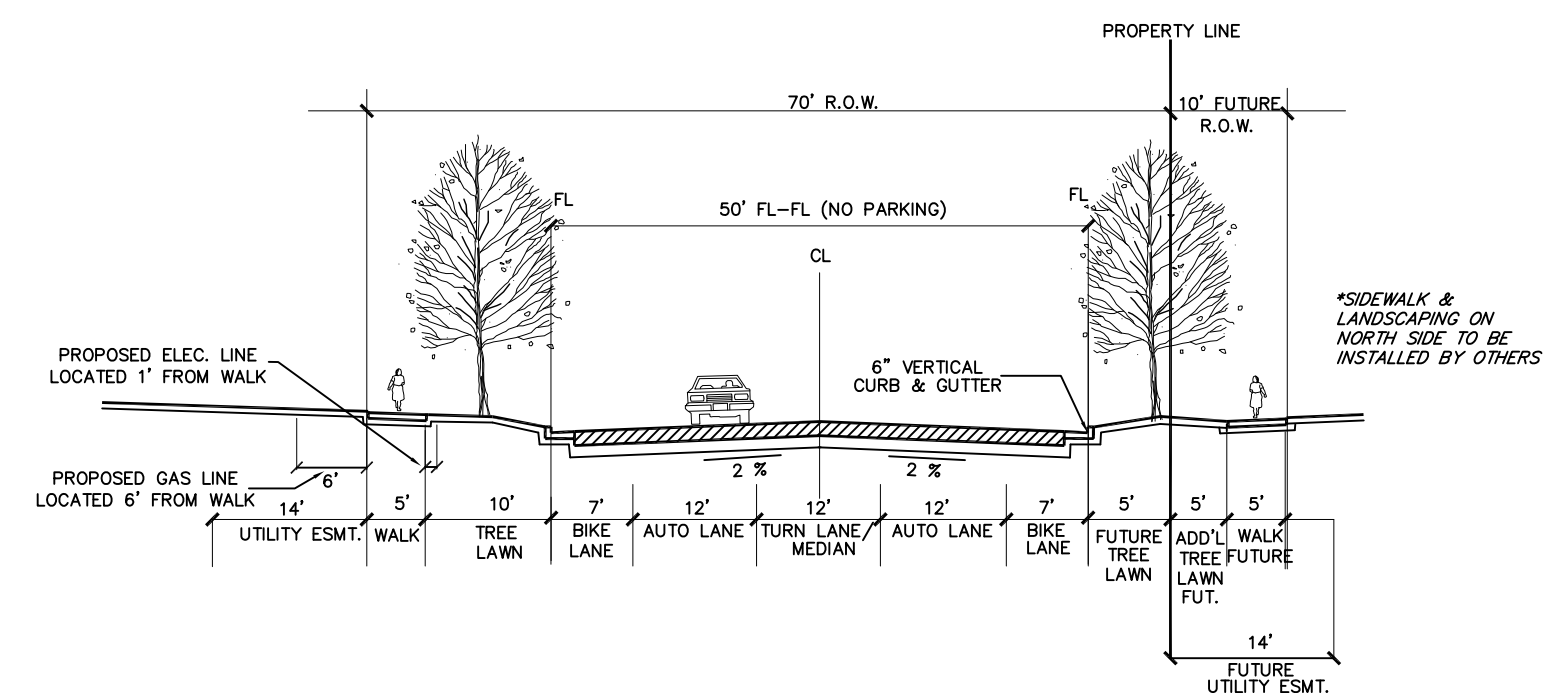
**2-LANE ARTERIAL**  
 57th STREET – INTERIM SECTION – WEST OF SEGUNDO DR. Not to Scale



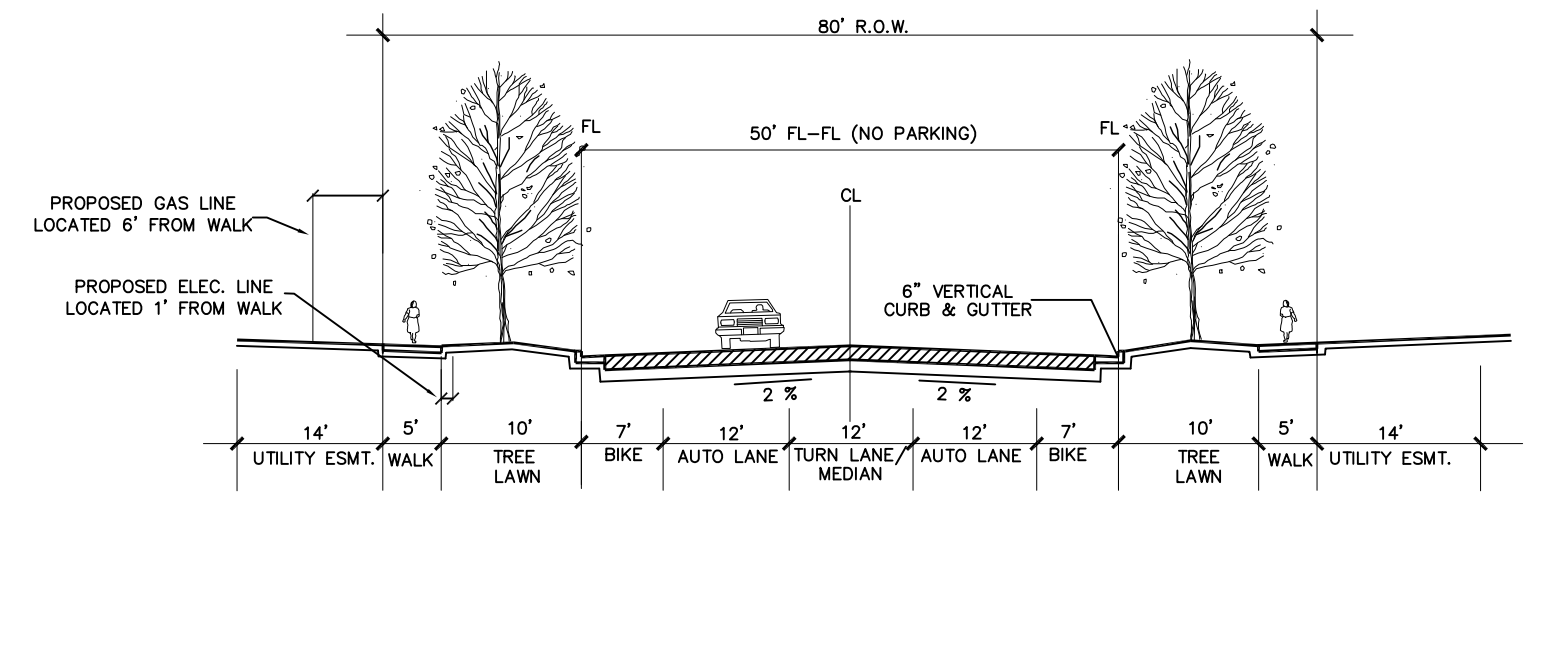
**2-LANE ARTERIAL**  
 57th STREET – INTERIM SECTION – EAST OF SEGUNDO DR. Not to Scale  
 (cross section varies as 57th shifts south – worse case section is shown here)



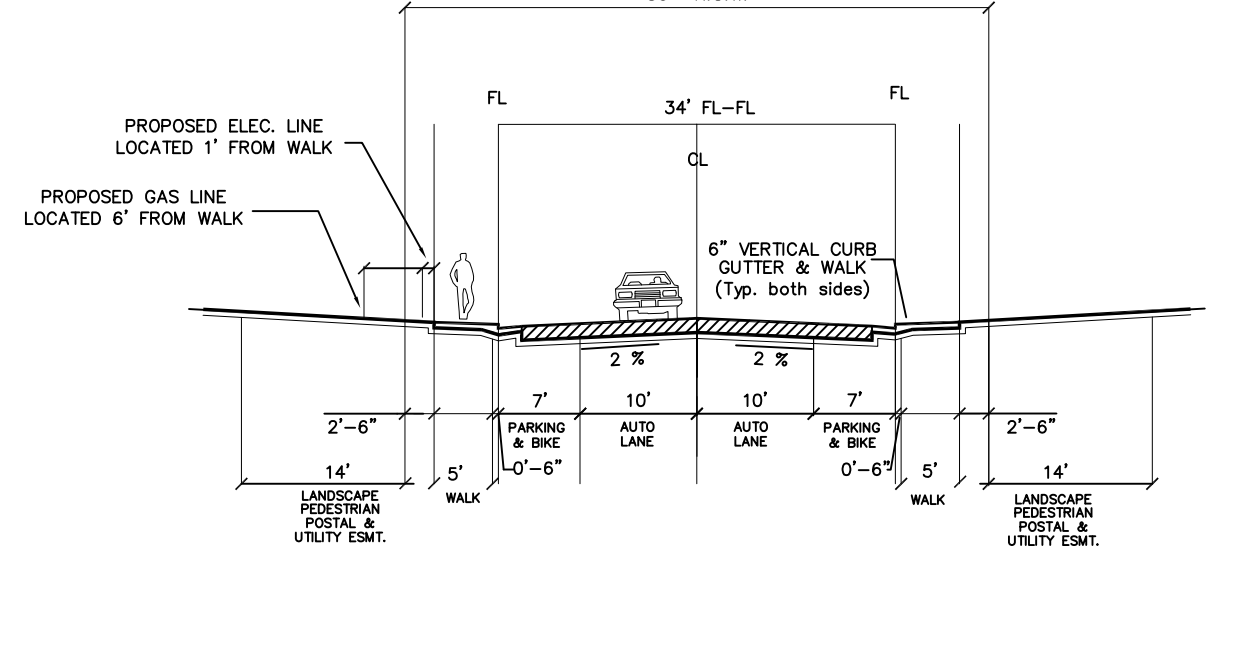
**MODIFIED RESIDENTIAL LOCAL STREET**  
 REDMESA AVENUE Not to Scale



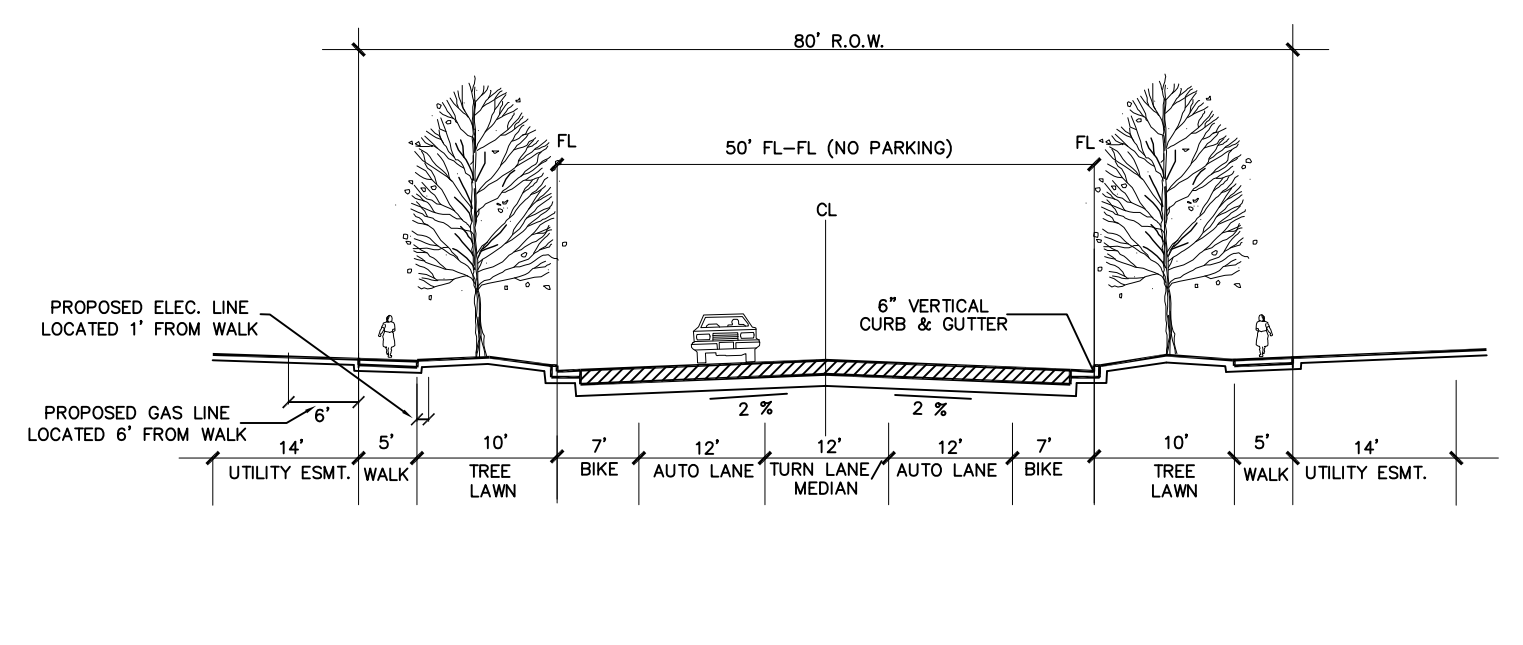
**MAJOR COLLECTOR STREET**  
 50th STREET ULTIMATE SECTION – EAST OF THE LOUDEN DITCH Not to Scale



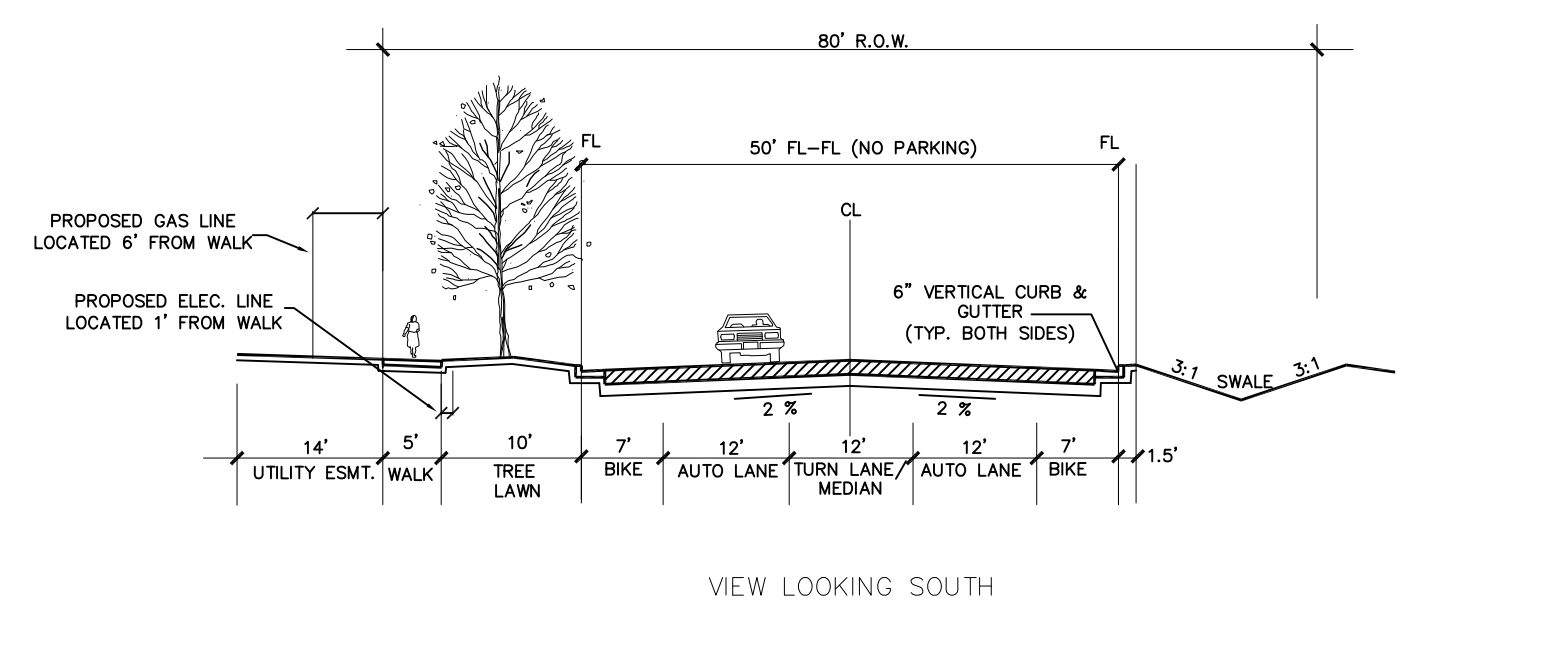
**MAJOR COLLECTOR STREET**  
 GLEN ISLE DRIVE – ULTIMATE SECTION Not to Scale



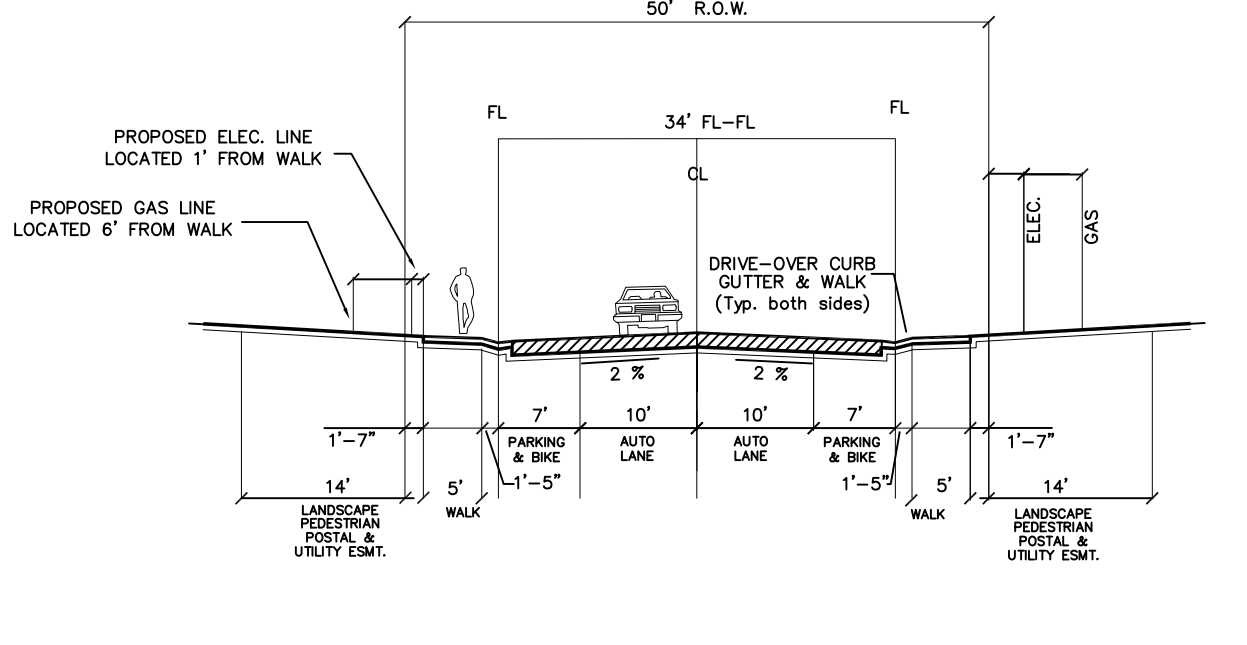
**RESIDENTIAL LOCAL STREET**  
 AVON AVENUE Not to Scale



**MAJOR COLLECTOR STREET**  
 50th STREET ULTIMATE SECTION – WEST OF THE LOUDEN DITCH Not to Scale



**MAJOR COLLECTOR STREET**  
 GLEN ISLE DRIVE – INTERIM SECTION Not to Scale



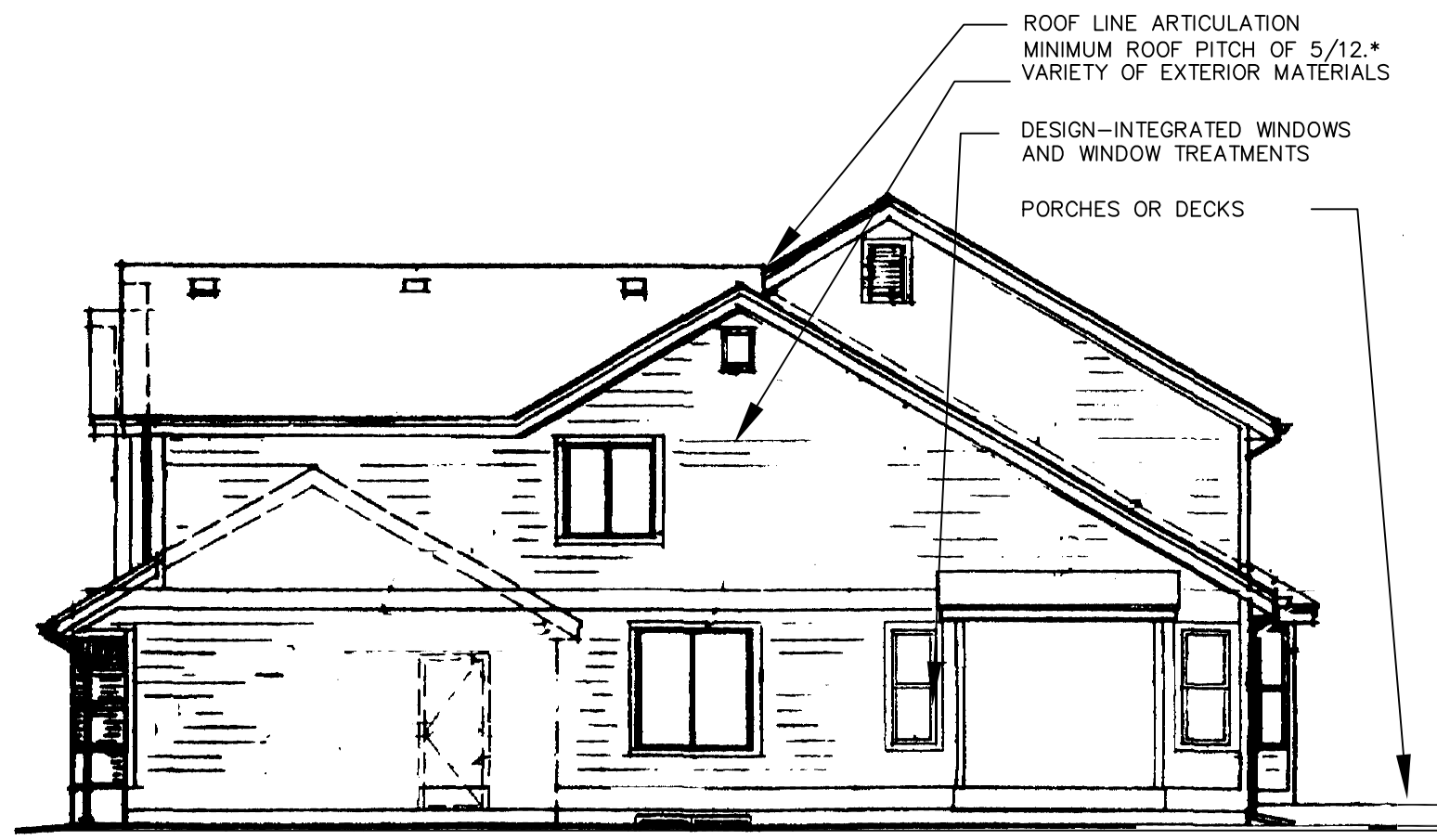
**RESIDENTIAL LOCAL STREET**  
 ALL OTHER STREETS Not to Scale

**Eagle Brook Meadows**  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

PROJECT:	28605
DRAWN BY:	TM
CHECK BY:	RD
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REVISIONS:	08.10.04
	04.1.05
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	09.19.05

Recording  
 SHEET TITLE  
**STREET CROSS-SECTIONS**

SHEET NUMBER

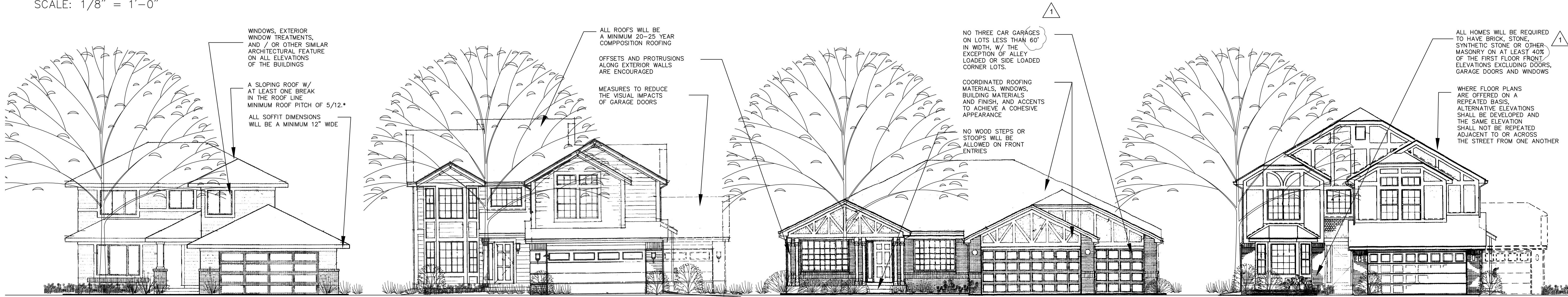


**\*ROOF PITCH NOTE:**

All main roof areas will have a minimum roof pitch of 5/12, however flatter accent roof pitches (2/12, 3/12 & 4/12) are allowed and encouraged where they add visual character and interest.

PROTO-TYPICAL ARCHITECTURAL ELEVATION – SIDE

SCALE: 1/8" = 1'-0"



PROTO-TYPICAL ARCHITECTURAL ELEVATIONS – FRONT

SCALE: 1/8" = 1'-0"



PROTO-TYPICAL ARCHITECTURAL ELEVATIONS – REAR

SCALE: 1/8" = 1'-0"

**NOTE:**  
 Individual House plan Elevations shall substantially comply with the intended quality shown as well as the Minimum Architectural Development Standards set forth in the "Design and Architectural Standards" section of this submittal. A letter of formal action by the ARC on any proposed structure design may be submitted to the City as part of any building permit application.

Eagle Brook Meadows  
 Site Development Plan  
 Loveland, Colorado  
 Front Range Investment Holdings, LLC

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Recording  
 SHEET TITLE  
 SDP  
 ARCHITECTURE

SHEET NUMBER

Drawing: S:\Eagle Brook\11-CADD\02-Planning\04-Sheets\SDP 2019\008-06-SDP-Architecture pg18.dwg  
 Oct 29, 2019 - 11:42am  
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